

# Hillingdon Planning Committee

Wednesday 15th January 2025



**HILLINGDON**  
LONDON

[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)

**Report of the Head of Development Management and Building Control**

**Address:** 22 BELMONT CLOSE UXBRIDGE

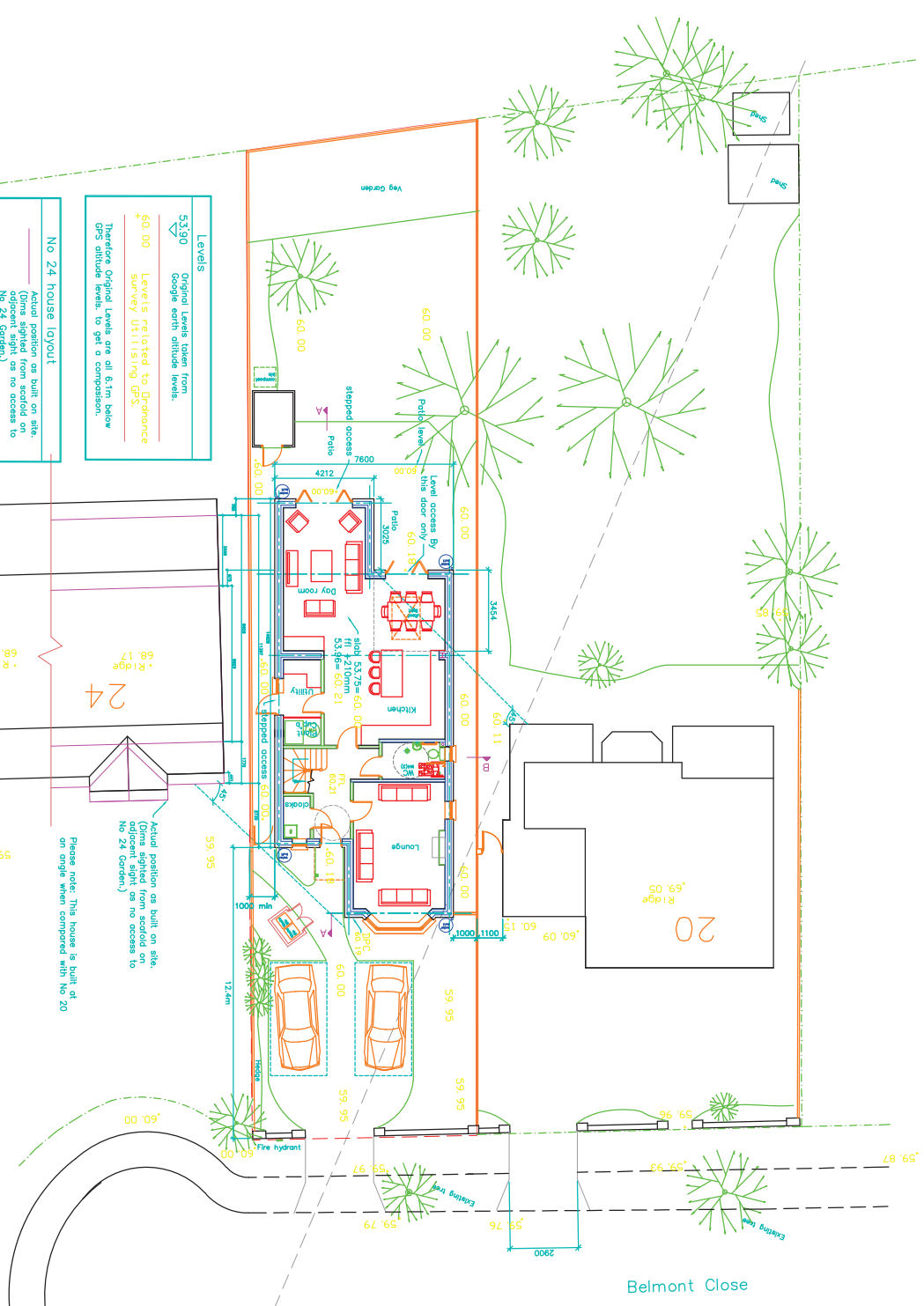
**Development:** Erection of a detached house with 4 bedrooms and associated parking, amenity and bin/cycle stores (updated plans)

**LBH Ref Nos:** 79130/APP/2024/1864





1. Do not work from this drawing.
2. Do not use this drawing for any other purpose without the written consent of the author.
3. No portion of this drawing is to be used for any other purpose without the written consent of the author.
4. For any information not covered by this drawing, refer to the original drawings.
5. The contractor must ensure that work is carried out in accordance with the Building Regulations and all other relevant legislation.
6. It is the contractor's responsibility to inform the local authority before work commences.
7. If work commences on site before full planning approval has been given, TOWERS ASSOCIATES will not be liable for any additional work or materials that the District Surveyor may require.
8. The contractor must ensure that they have the necessary permissions and consents for the proposed work.
9. TOWERS ASSOCIATES shall not be liable for any loss or damage to the property of the contractor or any third party.
10. All copyright and other intellectual property rights in this drawing shall remain the property of TOWERS ASSOCIATES.



**Levels**

53.90 Original Levels taken from Google earth ortho aerial levels.

60.00 Levels related to Ordnance Survey Utilising GPS.

Therefore Original Levels are all 6.1m below GPS attitude levels, to get a comparison.

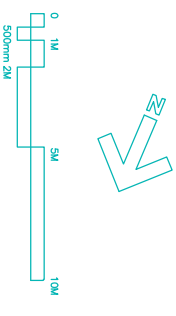
**No 24 house layout**

Actual position as built on site. (Dims sighted from scrold on No 24 Garden).

Original position as shown on OS Map with black lines

Actual position as built on site. (Dims sighted from scrold on No 24 Garden).

Please note: This house is built at an angle when compared with No 20



REV	DATE	DESCRIPTION
E	Aug 24	Rear patio levels revised
D	Jul 24	Actual position of No 24 adjusted
A	Jul 23	Rear projection added and internal diversion as Condition 10

**TITLE**

22 Belmont Close,  
Uxbridge, UB8 1RF.

**Proposed Site Layout**

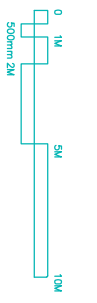
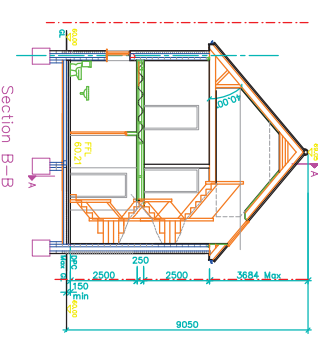
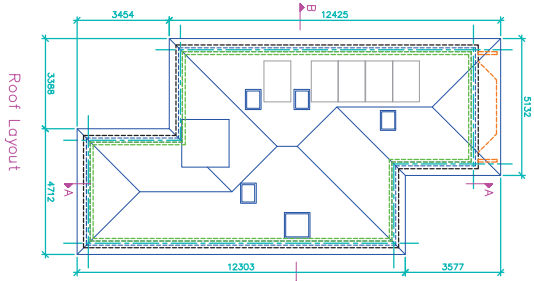
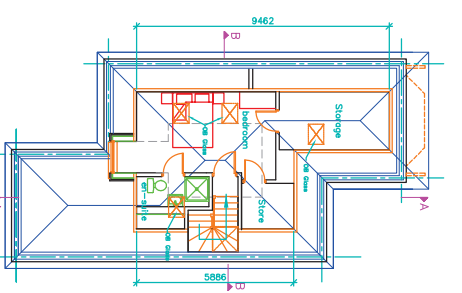
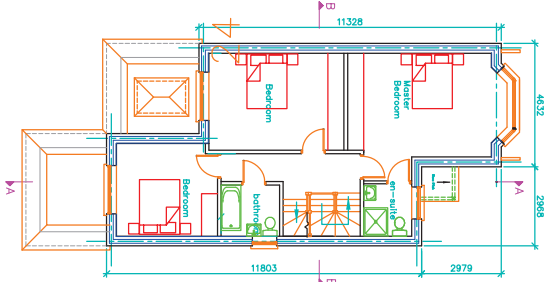
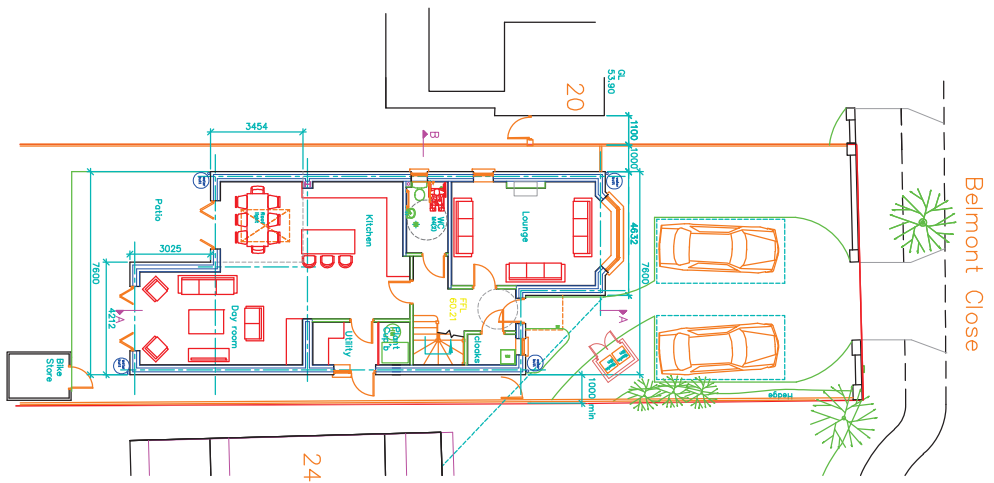
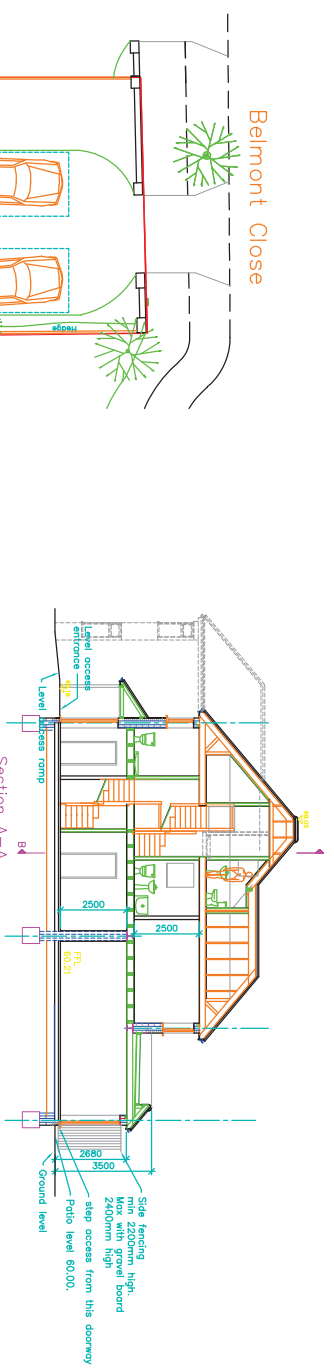
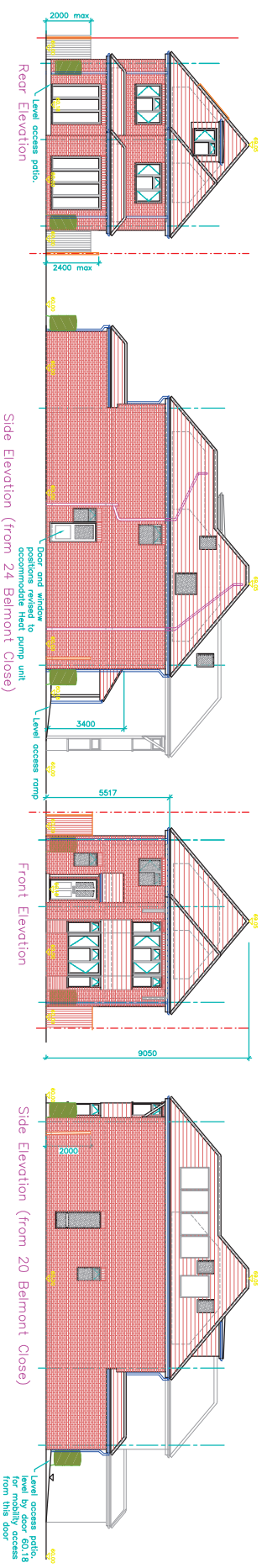
JHC No.	REV	F
3309-03		F

SCALE: 1:100

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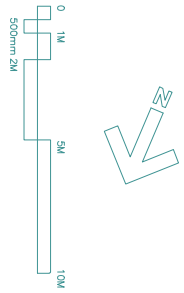
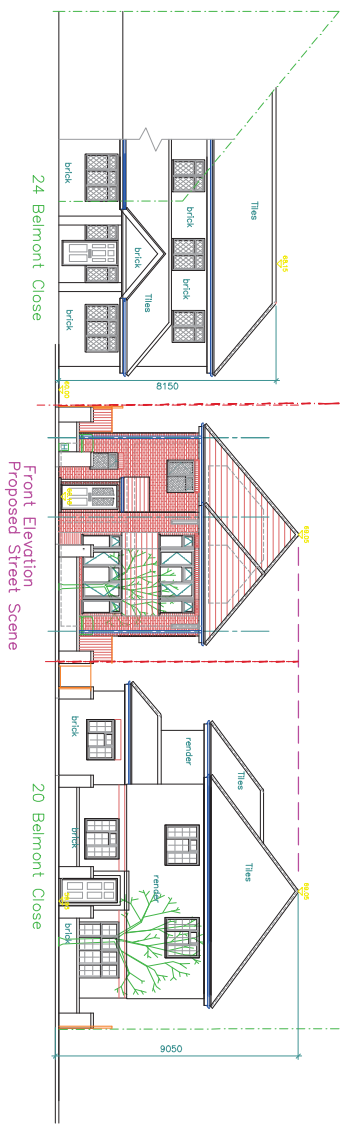
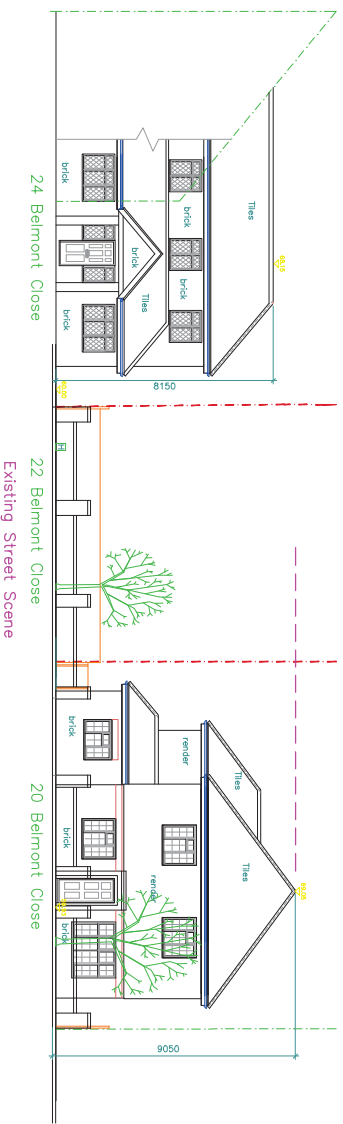
**TOWERS ASSOCIATES**  
 11th Floor,  
 Harfield, WINDYBUSH GULF,  
 Uxbridge, MIDDLESEX, UB9 6UL,  
 UK  
 TEL: 01895 812822

DATE: Apr 23  
 CHECKED: PND  
 DATE: Apr 23



1. Do not make from this drawing.	REV G	REV G
2. Before ordering materials or commencing work.	REV F	REV F
3. Association of details refer to TOWERS ASSOCIATES for contractor. Unaltered accepted. (3) contractor will not be.	REV E	REV E
4. For any information not covered by ASSOCIATES for contractor. Unaltered accepted by contractor will not be.	REV D	REV D
5. The contractor must ensure that work is carried out to the strictest standards of workmanship and quality.	REV C	REV C
6. It is the contractor's responsibility to inform the local authority before work commences on site. All to the strictest standards of work. All to the strictest standards of work. All to the strictest standards of work.	REV B	REV B
7. If work commences on site before all plans approved has been given, TOWERS ASSOCIATES will not be responsible for any additional work or materials that the contractor may require.	REV A	REV A
8. From the date of completion of this drawing, the copyright and property of all drawings shall remain with TOWERS ASSOCIATES and no copies shall be returned to TOWERS ASSOCIATES if returned.		
9. Sept 24 floor patio levels revised		
10. Aug 24 Title revised to no 22 Belmont Close		
11. July 24 Overlay no 24 on site dims		
12. Mar 24 Utility room revised. Info added.		
13. Rear projection added and		
14. And internal alteration on Corncroft 10		
15. Jun 23 floor to ceiling heights revised		
16. DATE DESCRIPTION		
TITLE		
22 Belmont Close,		
Uxbridge, UB8 1RF.		
Proposed		
New house		
JRC No. 3309-04		
SCALE: 1:100		
© Copyright 2023		
ISSN BY: JDS		
DATE: Apr. 23		
CHECKED: PND		
DATE: Apr. 23		
TOWERS ASSOCIATES		
100, Oldfield Road, Uxbridge, Middlesex, UB8 3JY, UK		
TEL: 01895 814384		
FAX: 01895 814384		
TEL: 01895 812822		

1. Do not scale from this drawing.
2. All dimensions are indicated on the drawing.
3. In case of discrepancy in any of the dimensions, the dimensions shown on the drawings shall prevail over the dimensions shown on the Bill of Materials.
4. For any information not covered by the drawings, the contractor shall refer to the Bill of Materials.
5. The contractor must ensure that work is being carried out to the latest editions of the relevant standards.
6. It is the contractor's responsibility to inform the local authority before work commences. All work shall be carried out in accordance with the relevant standards.
7. The contractor shall ensure that the work is carried out in accordance with the relevant standards.
8. The contractor shall ensure that the work is carried out in accordance with the relevant standards.
9. The contractor shall ensure that the work is carried out in accordance with the relevant standards.
10. The contractor shall ensure that the work is carried out in accordance with the relevant standards.

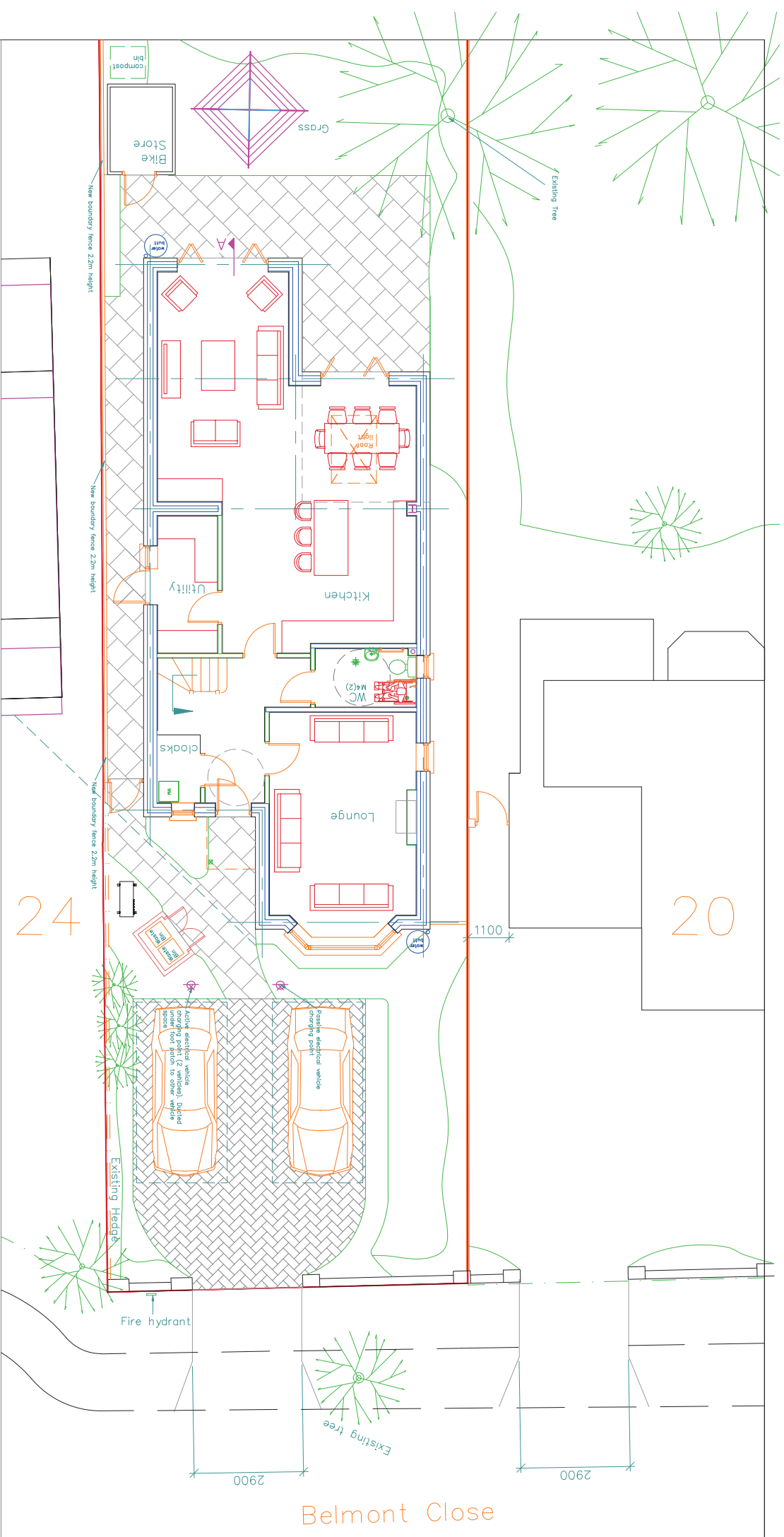


REV.	DATE	DESCRIPTION
01		

**JOB**  
 22 Belmont Close,  
 Uxbridge. UB8 1RF.  
**TITLE**  
 Existing & Proposed  
 Street Scene

Pkg. No. 3367-05      REV. -  
 SCALE 1:100      © Copyright 2023      JML W. JDS  
 DATE: Apr 23      CHECKED: PDM      DATE: Apr 23  
 DRAWN: PDM

**TOWERS ASSOCIATES LTD**  
 Hatfield Road, Hatfield, AL10 9TA  
 TEL. 01895 812822  
 WWW.TOWERS-ASSOCIATES.COM



24

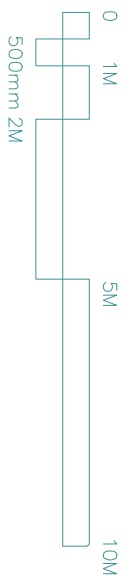
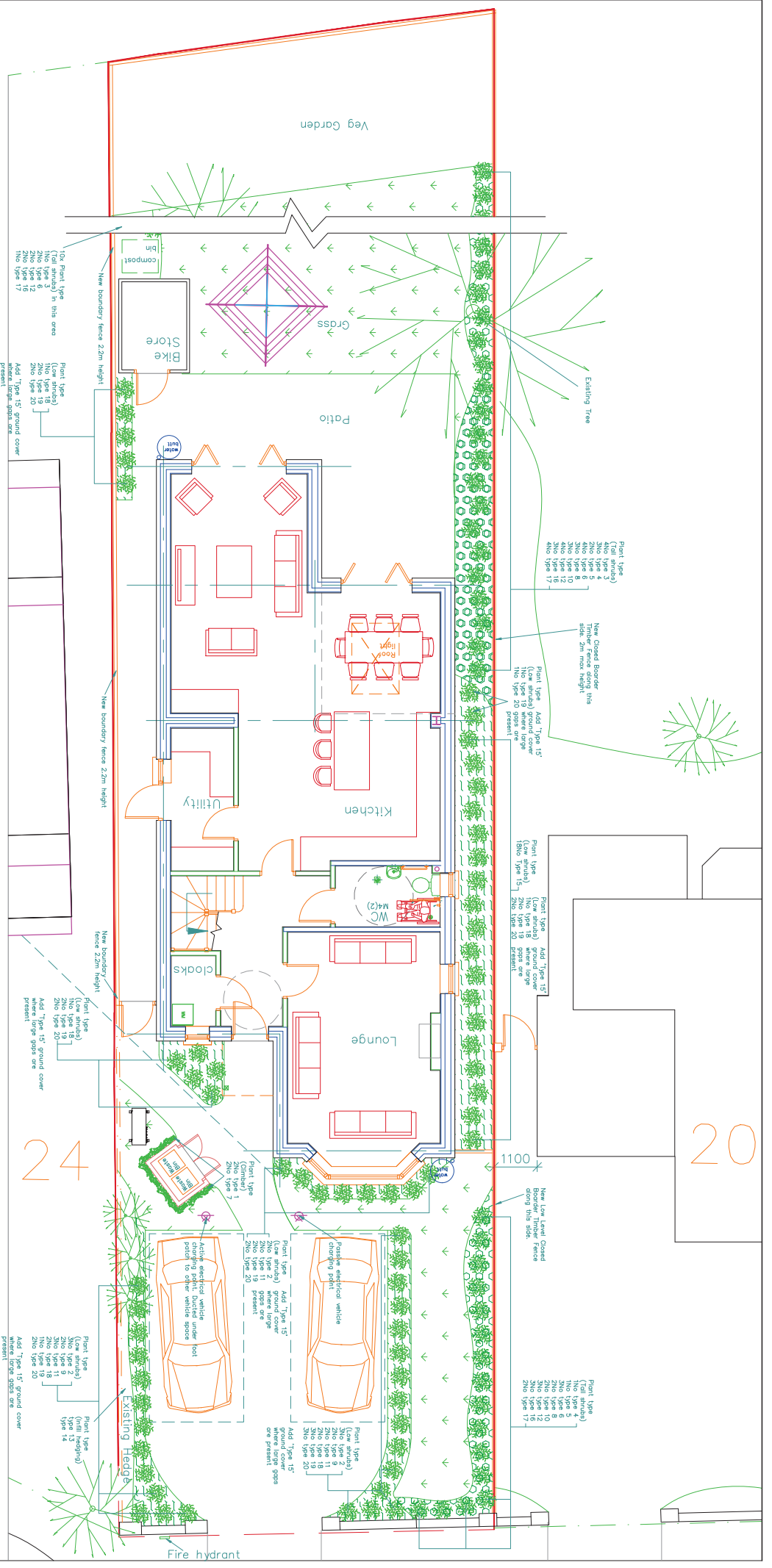
20

Belmont Close

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4. For any information not covered by ASSOCIATES, for confirmation Unilateral accepted by contractors will not be accepted.
5. The contractor must ensure that work is all the existing coverage.
6. It is the contractor's responsibility to ensure that all work is done in accordance with the current Building Regulations and all relevant codes of practice.
7. If work commences on site before full planning approval has been given, TOWERS ASSOCIATES will not be held responsible for any additional work or materials that the contractor may incur.
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REV.	DATE	DESCRIPTION
UB8		22 Belmont Close, Uxbridge, UB8 1RF.
<b>TITLE</b> Proposed Hard Landscaping layout		
<b>FIG. No.</b> 3567-LS-02 <b>REV.</b> -		
<b>SCALE</b> 1:50		<b>DATE</b> 17/11/2021
<b>DESIGNED BY</b>		<b>DATE</b> 23/04/21
<b>DRAWN BY</b>		<b>DATE</b> 23/04/21
<b>TOWERS ASSOCIATES LTD</b> Hatfield Old Farm, Hatfield, Herts, AL9 9QJ, UK TEL: 01895 812822 WEB: www.lower-associates.com		





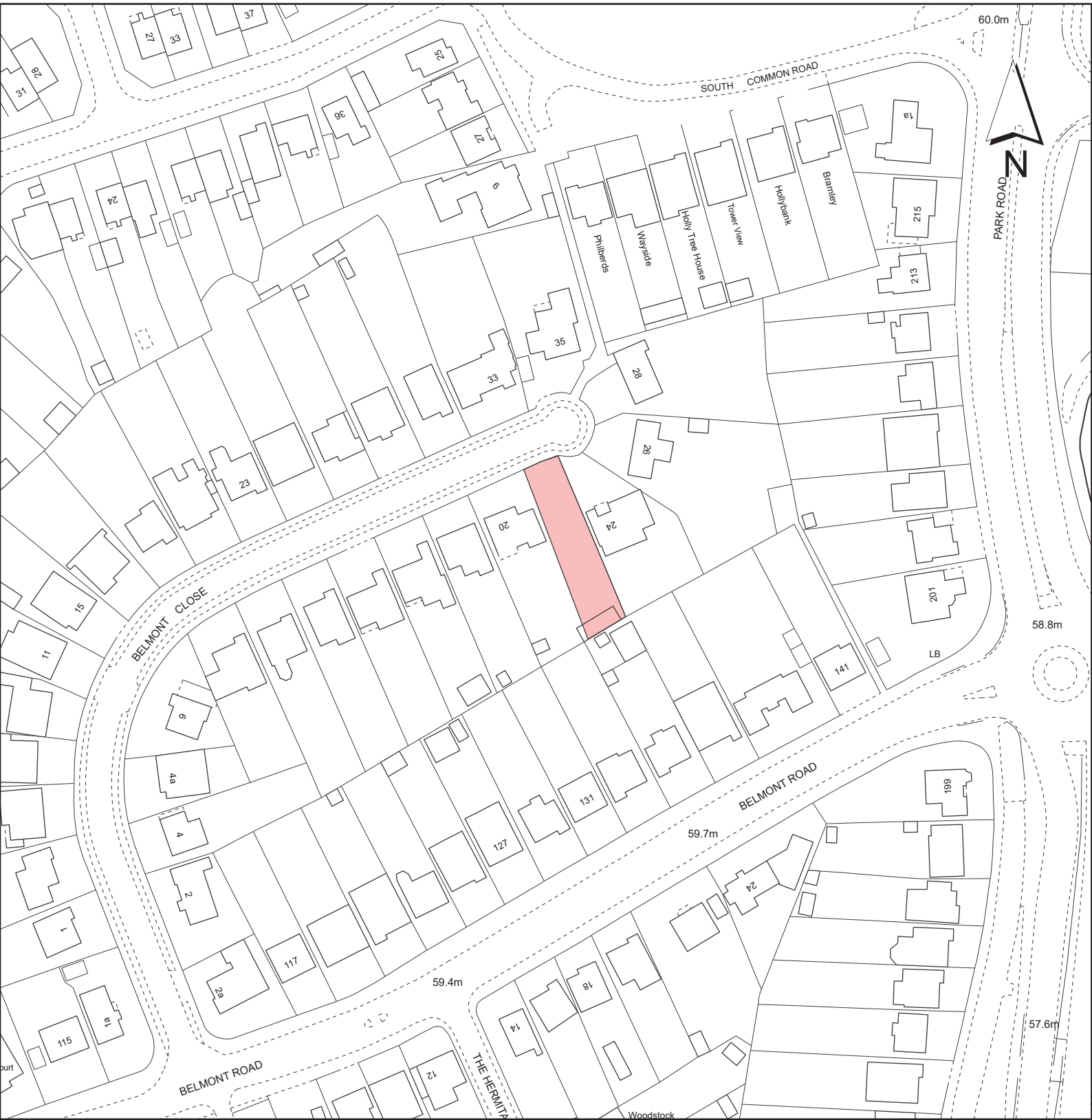
1. Do not scale from this drawing.
2. All dimensions to be checked on site work, ordering materials or commencing work.
3. In case of discrepancies in drawings, drawings shall prevail over verbal instructions. TOWERS ASSOCIATES, for definitions of reserved decisions by contractors will not be responsible.
4. For any information not covered by these drawings refer to TOWERS ASSOCIATES' contract documents and the Surveyors' satisfaction. The contract documents shall prevail.
5. New considered and agreed that part of all the working drawings.
6. In the event of any discrepancy between the drawings and the site, the drawings shall prevail.
7. If work commences on site without the approval of TOWERS ASSOCIATES, TOWERS ASSOCIATES accept no responsibility for any damage to the site or any delay to the project. The contractor shall be responsible for any damage to the site or any delay to the project.
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REV.	DATE	DESCRIPTION
01B		22 Belmont Close, Uxbridge, UB8 1RF.
<b>Proposed Soft Landscaping layout</b>		
JRG No. 3367-LS-03 REV. - SCALE 1:50 © Copyright 2023 IMN BY JV DATE: Apr 23 CHECKED: PNN DATE: Apr 23		
<b>TOWERS ASSOCIATES LTD</b> Hatfield, 01 Terrapin, Hatfield Rd, Hatfield, MK45 1JG TEL: 01895 812822 WEB: WWW.TOWERS-ASSOCIATES.COM		









<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b>  22 Belmont Close Uxbridge		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES          PLANNING SECTION</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright  <b>© Crown copyright and database rights 2024 Ordnance Survey AC0000810857</b>	<b>PLANNING APPLICATION REFERENCE :</b>  79130/APP/2024/1864	<b>SCALE :</b>  1:1,250	<b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>  
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b>  15/01/2025	

## **Report of the Head of Development Management and Building Control**

**Address:** 72 HAREFIELD ROAD UXBRIDGE

**Development:** Demolition of existing dwelling and erection of building to provide 3 x 1-bed, 5 x 2-bed, 1 x 3 bed flats with associated parking and amenity space.

**LBH Ref Nos:** 25767/APP/2024/2484

**Delegated -**

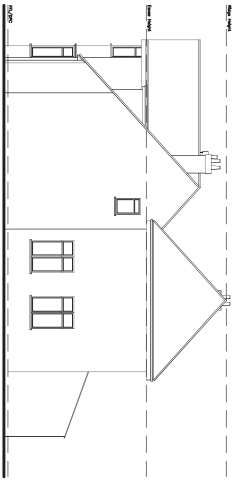
**PART 1 - MEMBERS, PUBLIC & PRESS**



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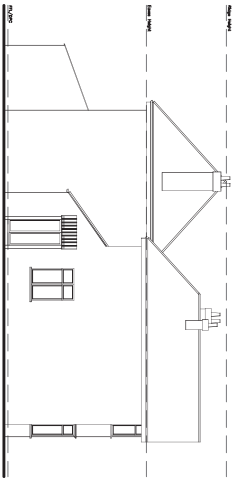
EXISTING FRONT ELEVATION  
SCALE: 1:100



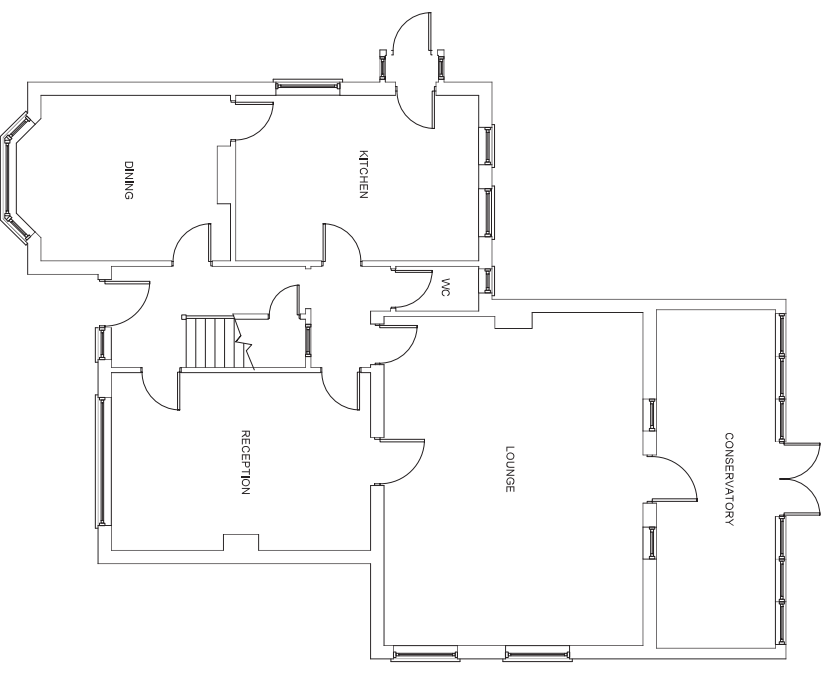
EXISTING SIDE ELEVATION  
SCALE: 1:100



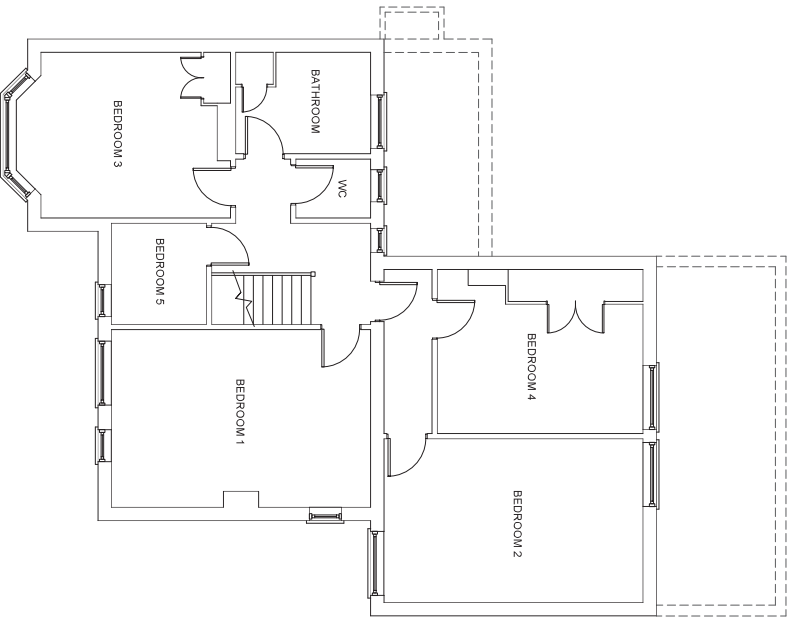
EXISTING REAR ELEVATION  
SCALE: 1:100



EXISTING SIDE ELEVATION  
SCALE: 1:100



EXISTING GROUND FLOOR PLAN  
SCALE: 1:50



EXISTING FIRST FLOOR PLAN  
SCALE: 1:50

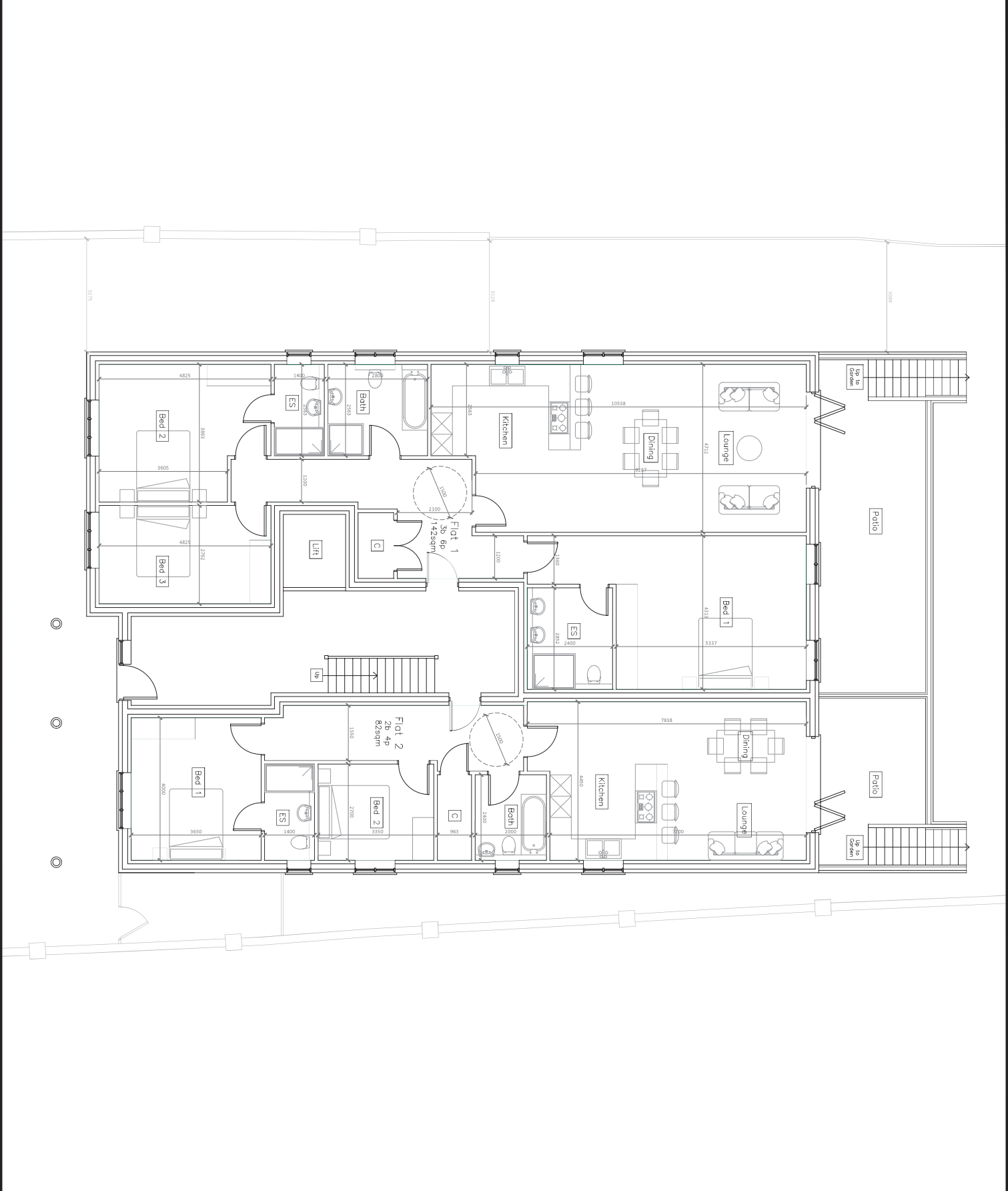
REV	DATE	DRAWN BY	DESCRIPTION

<b>Uxbridge Design &amp; Detailing Services</b>	
218 Kingsway Street, London, W8 7JH, UK E: info@uxbridgedesign.co.uk W: www.uxbridgedesign.co.uk	
CLIENT	TWINGLET DEVELOPMENTS
PROJECT	77 HAREFIELD ROAD, UXBIDGE, MIDDLESEX, UB8 3PJ
TITLE	EXISTING PROPERTY TO BE DEMOLISHED PLANS AND ELEVATIONS
DATE	1 JAN 2019
SCALE	1:100
DIN	64
DRGNO	19.01.00
REV	A1

SCALE 1:100





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REV	DATE	DRAWN BY	DESCRIPTION

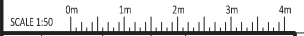
**Oxbridge Design & Detailing Services**  
 The Oxbridge Group  
 11, 13 & 15 High Street, Chalfont, Bucks HP8 4ST  
 T: 0494 252321  
 E: info@oxbridgedesign.co.uk  
 W: www.oxbridgedesign.co.uk

**CLIENT**  
 TINGLETTS DEVELOPMENTS

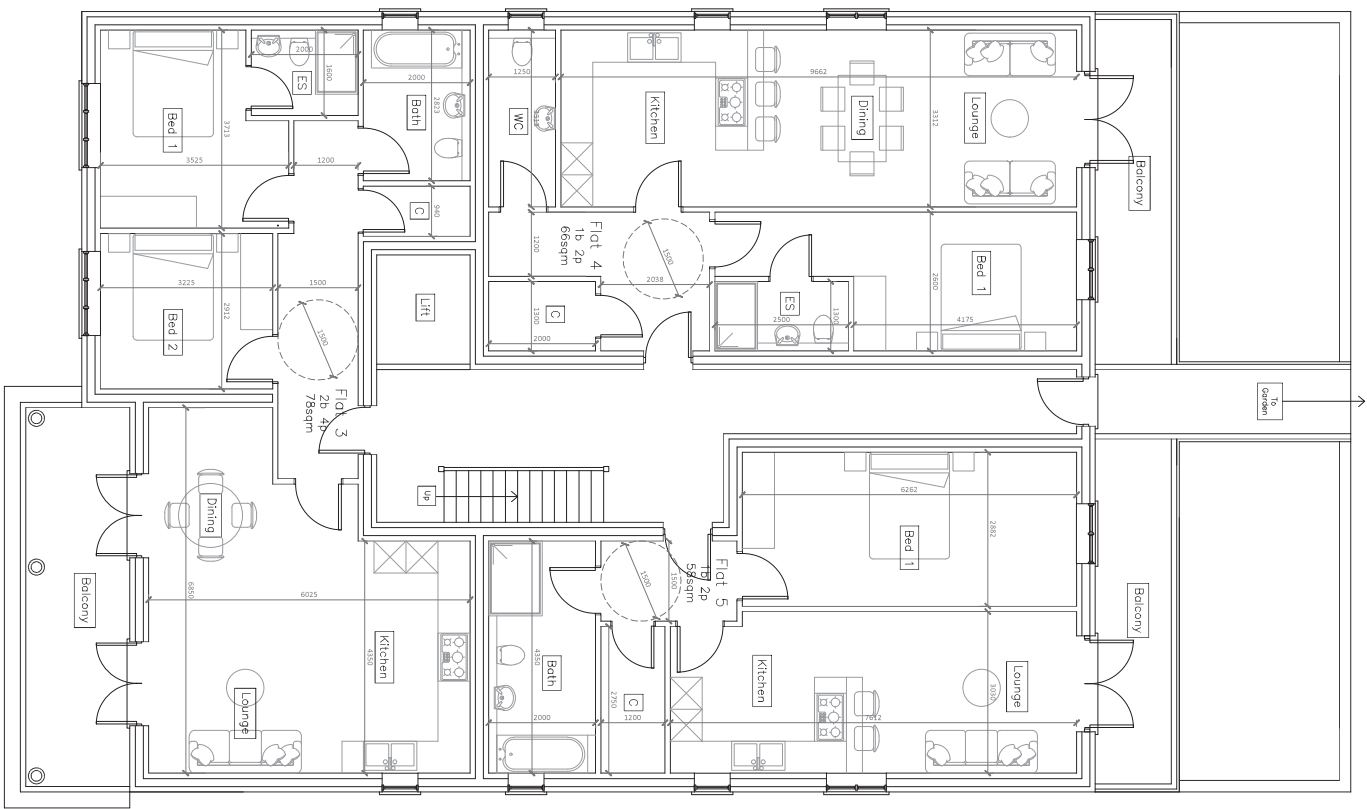
**PROJECT**  
 77 WAREFIELD ROAD, URBOROUGH  
 MKX5 1BB 1PL

**TITLE**  
 9 FLATS  
 PROPOSED LOWER GROUND FLOOR PLAN

**SCALE** 1:50  
**DATE** AUG 2023  
**DIN** F4  
**DWGNO** 24.05.01  
**REV**  
**SIZE** A1



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SCALE 1:50

0m 1m 2m 3m 4m

REV	DATE	DRAWN BY	DESCRIPTION

**Oxbridge Design & DETAILING SERVICES**

The Oxbridge Design & Detailing Services Ltd  
 1, 3rd Floor, 24-26 High Street, Chislehurst, DN11 3TF  
 T: 0203 252321  
 E: info@oxbridgedesign.co.uk  
 W: www.oxbridgedesign.co.uk

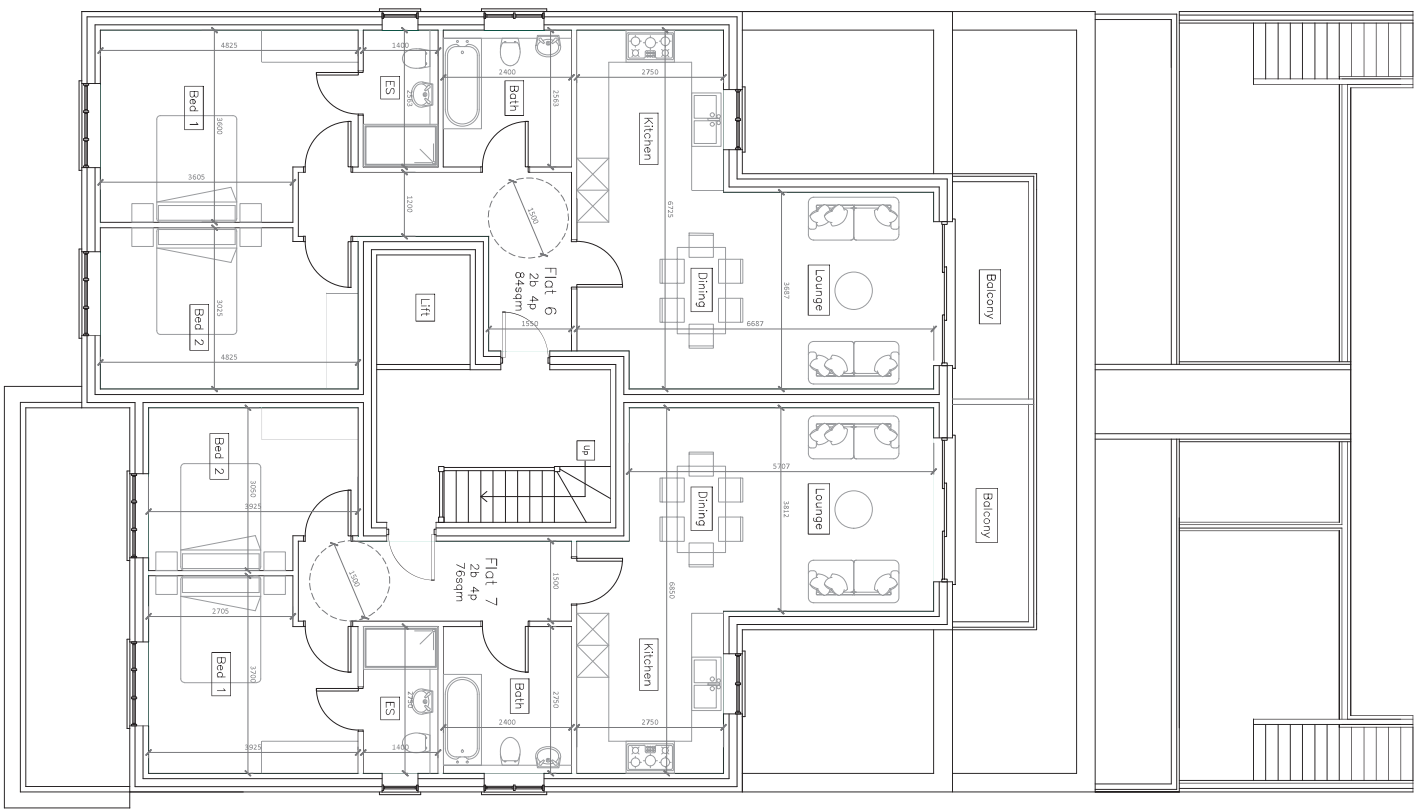
CLIENT: TINGLETT DEVELOPMENTS

PROJECT: 77 HARFIELD ROAD, URBIDGE  
 M/DX: UB8 1PL

TITLE: 9 FLATS  
 PROPOSED GROUND FLOOR PLAN

DATE	SCALE	DNM	DRGNO	REV	SIZE
MAR 2023	1:50	(4)	24_49_02		A1

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REV	DATE	DRAWN BY	DESCRIPTION

**Oxbridge Design & Detailing Services**  
 The Oxbridge Design & Detailing Services Ltd  
 11888 25th Hill High Street, Chalfont, Bucks MK44 2ST  
 T: 01494 452321  
 E: info@oxbridgedesign.co.uk  
 W: www.oxbridgedesign.co.uk



**CLIENT**  
 TINGLET DEVELOPMENTS

**PROJECT**  
 77 HAREFIELD ROAD, UDBROOKE,  
 MK35 9EP

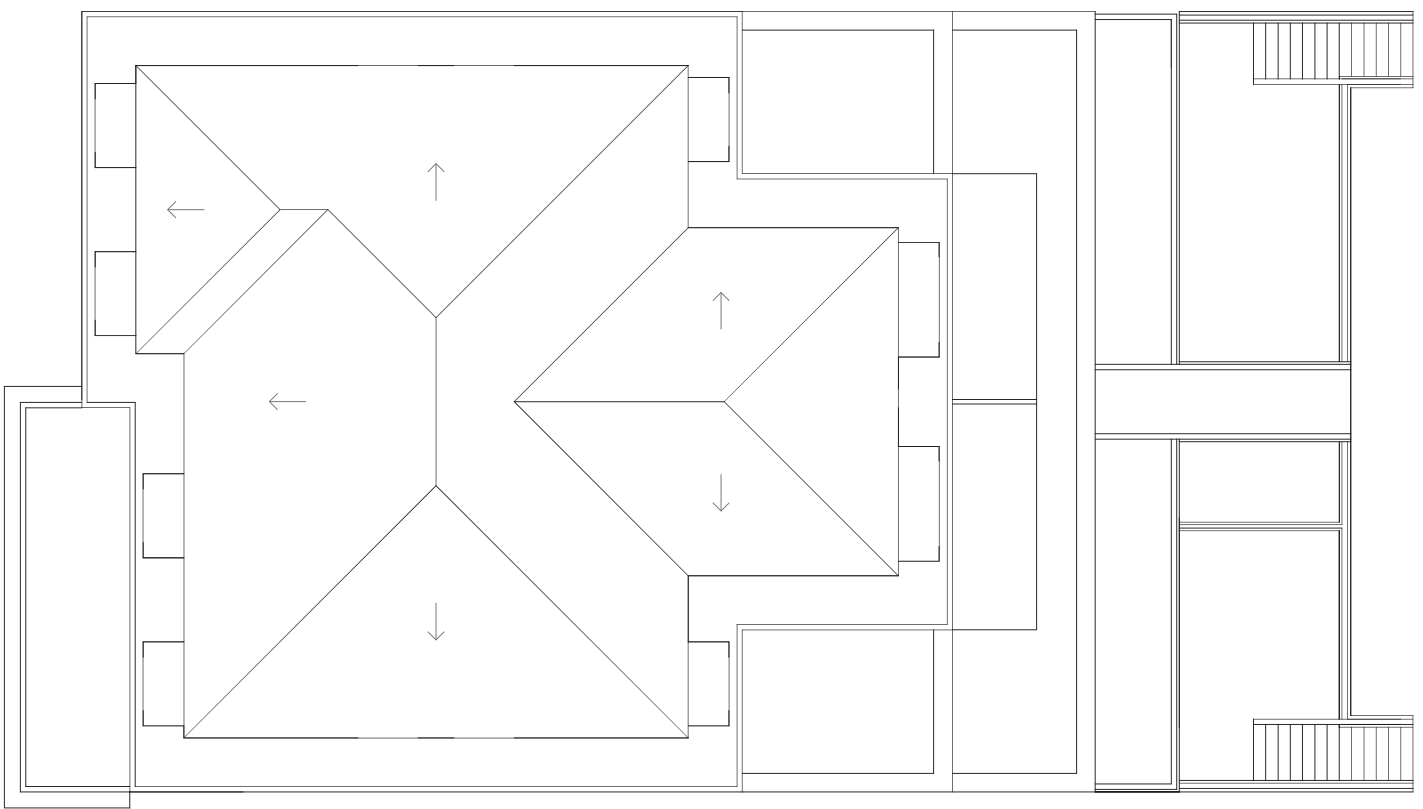
**TITLE**  
 9 FLATS  
 PROPOSED FIRST FLOOR PLAN

DATE	SCALE	DIN	DWGNO	REV	SIZE
MAR 2023	1:50	K3	24.45.03		A1

SCALE 1:50  
 0m 1m 2m 3m 4m




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REV	DATE	DRAWN BY	DESCRIPTION

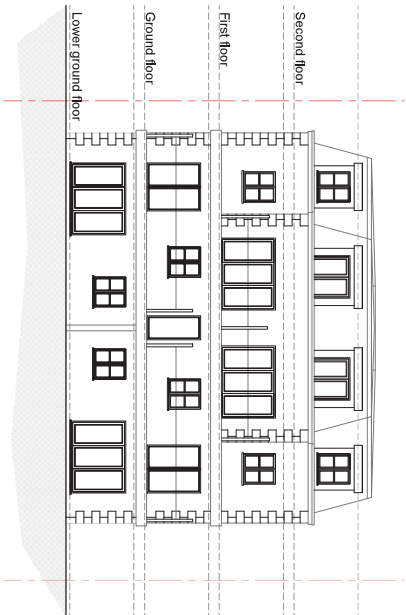
  

	
<b>Oxbridge Design &amp; Detailing Services</b> The Old Rectory, 14 High Street, Chigwell, Essex, DM4 7ST T: 0208 525 2321 E: info@oxbridgedesign.co.uk W: www.oxbridgedesign.co.uk	
CLIENT	TINSELTS DEVELOPMENTS
PROJECT	77 HAREFIELD ROAD, URBOROUGH, MIDDX, UB8 1PL
TITLE	9 FLATS ROOF PLAN
DATE	AUG 2023
SCALE	1:50
DIN	K3
DWG NO	24_01_04
REV	
SIZE	A1

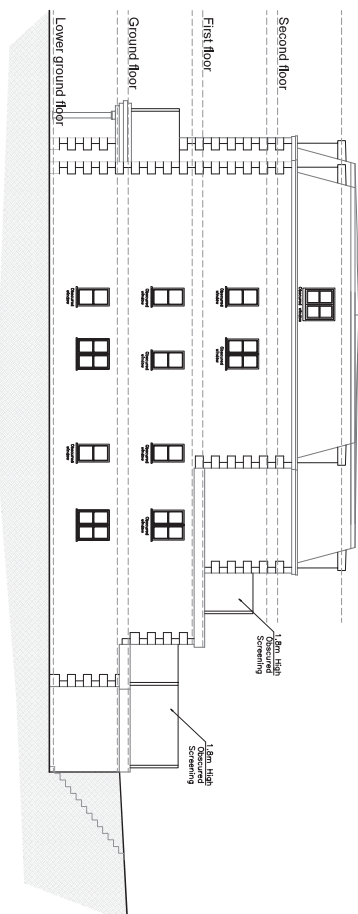
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0m 1m 2m 3m 4m



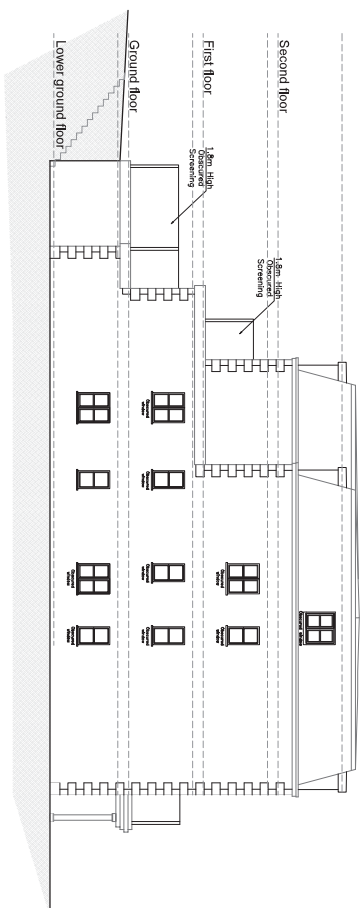
Front Elevation  
Scale – 1:100



Rear Elevation  
Scale – 1:100



Side Elevation  
Scale – 1:100



Side Elevation  
Scale – 1:100



Street Scene  
Scale – 1:100

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REV	DATE	BY	DESCRIPTION
A	JULY 2024	RH	REVISION: FRONT PLANNING

**Oxbridge Design & Detailing Services**  
 The Spire, 25-27 High Street, Cheltenham, Glos GL51 3ST  
 T: 01235 523231  
 E: info@oxbridgedesign.co.uk  
 W: www.oxbridgedesign.co.uk



CLIENT: TINGLES DEVELOPMENTS  
 PROJECT: 72 WAREFIELD ROAD, LUDLOWSE  
 M/DX: 10883 P/L

9 FLATS  
 PROPOSED ELEVATIONS AND STREET SCENE

DATE	SCALE	DNM	DWGNO	REV	SIZE
MAY 2024	1:100	(4)	24_49_07	A	A1

SCALE 1:100  
 0m 2m 4m 6m 8m



<b>KEY :</b>  <b>Site Boundary</b>	<b>ADDRESS :</b> 72 Harefield Road, Uxbridge		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright  © Crown copyright and database rights 2024 Ordnance Survey AC0000810857	<b>PLANNING APPLICATION REFERENCE :</b> 25767/APP/2024/2484	<b>SCALE :</b> 1:1,250	<b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 15/01/2025	

**Report of the Head of Development Management and Building Control**

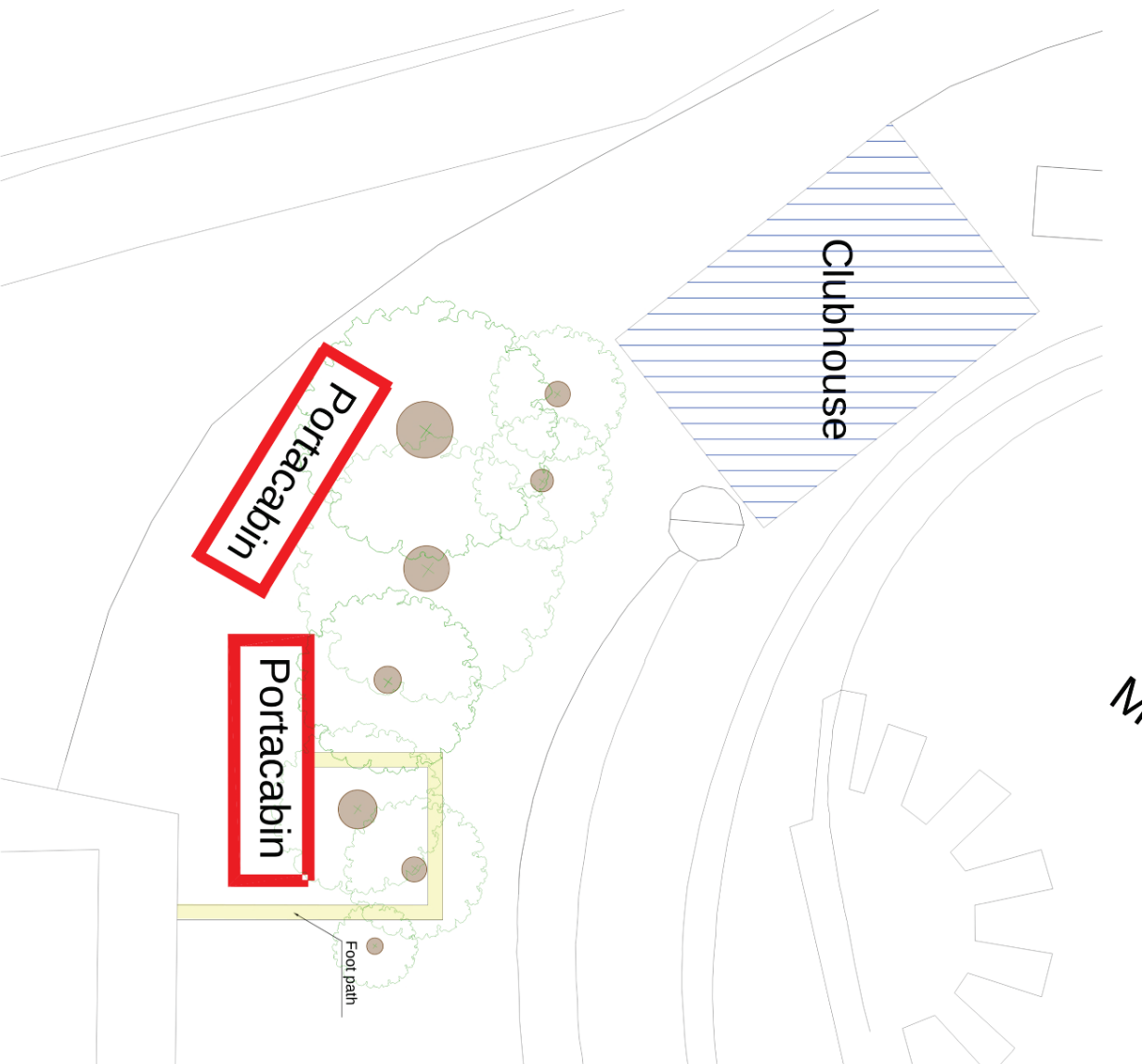
**Address:** HARROW & WEMBLEY SOCIETY MODEL ENGINEERS, ROXBOURNE PARK  
FIELD END ROAD EASTCOTE

**Development:** Part-retrospective provision of one portacabin with paint-finished timber cladding to provide a ticket office and community space.

**LBH Ref Nos:** 22899/APP/2023/2219



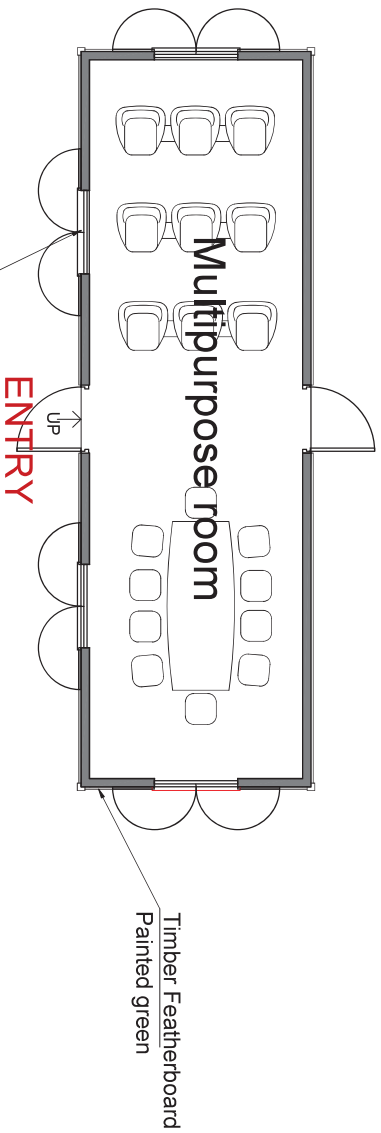




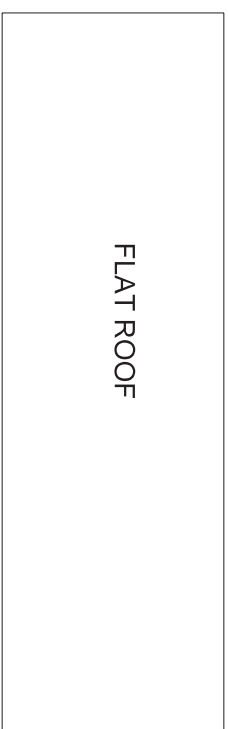
# EXISTING SITE PLAN

# PROPOSED SITE PLAN

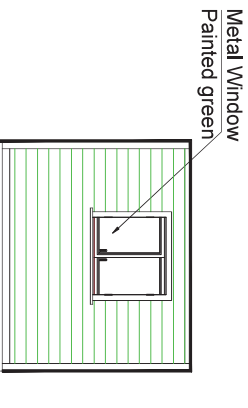
PROJECT	DWG NO.	SCALE	DETAIL	12.11.2024	A	14.11.2024	B	02/01/2025	PROJECT NO.
ROXBORNE PARK, FIELD END ROAD, RUISLIP, HA4 9DZ	B	1:100	SITE PLANS	ISSUED FOR	GENERAL ISSUE	GENERAL ISSUE			24.32
PLANNING		@ A1							PR Architecture Ltd. Chartered Architect 120, Pinner Road, Harrow, HA1 4JP



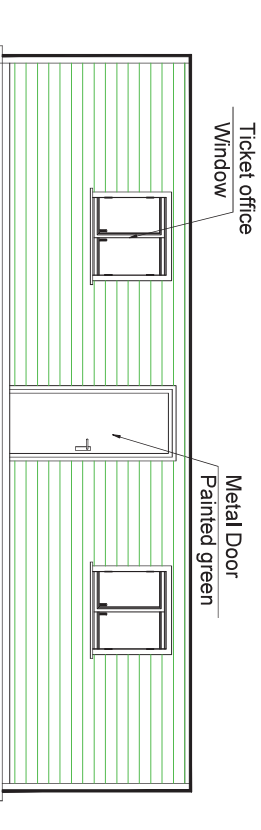
## PROPOSED FLOOR PLAN



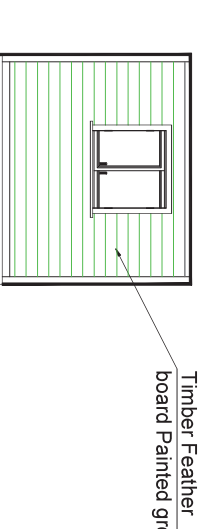
## ROOF PLAN



## LEFT ELEVATION



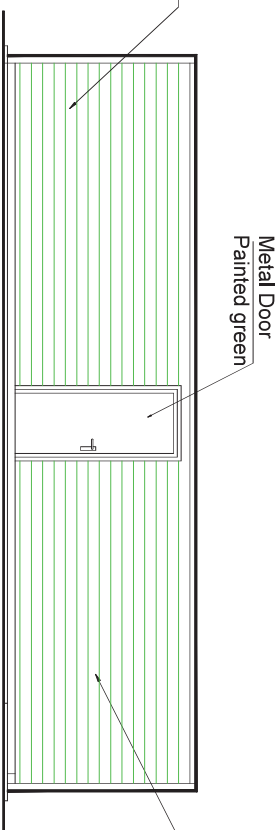
## FRONT ELEVATION



## RIGHT ELEVATION



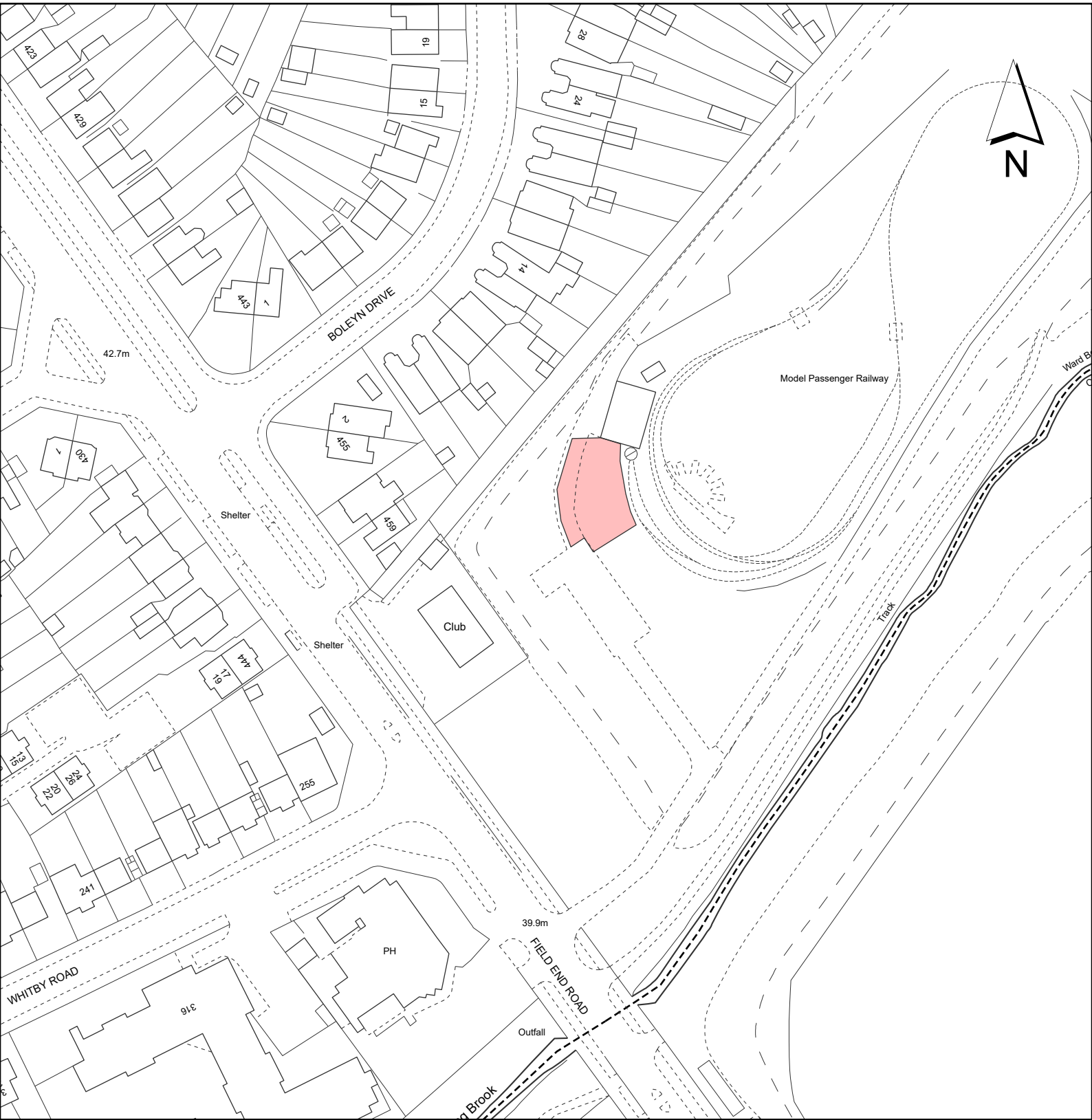
FEATHER BOARD





## REAR ELEVATION



PROJECT	DWG NO.	SCALE	DETAIL	ISSUED FOR DISCUSSION	GENERAL ISSUE	PROJECT NO.
ROXBOURNE PARK, FIELD END ROAD, RUISLIP, HA49PB	03 A	1:50 @ A2	PROPOSED FLOOR PLAN AND ELEVATIONS	12.11.2024	A 14.11.2024	24.32
PLANNING						



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> Harrow and Wembley Society Model Engineers, Roxbourne Park		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 15/01/2025	

## **Report of the Head of Development Management and Building Control**

**Address:** 140 FAIRHOLME CRESCENT HAYES

**Development:** Creation of an extra unit in 6 unit HMO (Class C4).

**LBH Ref Nos:** 57533/APP/2023/3146



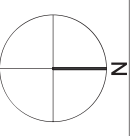
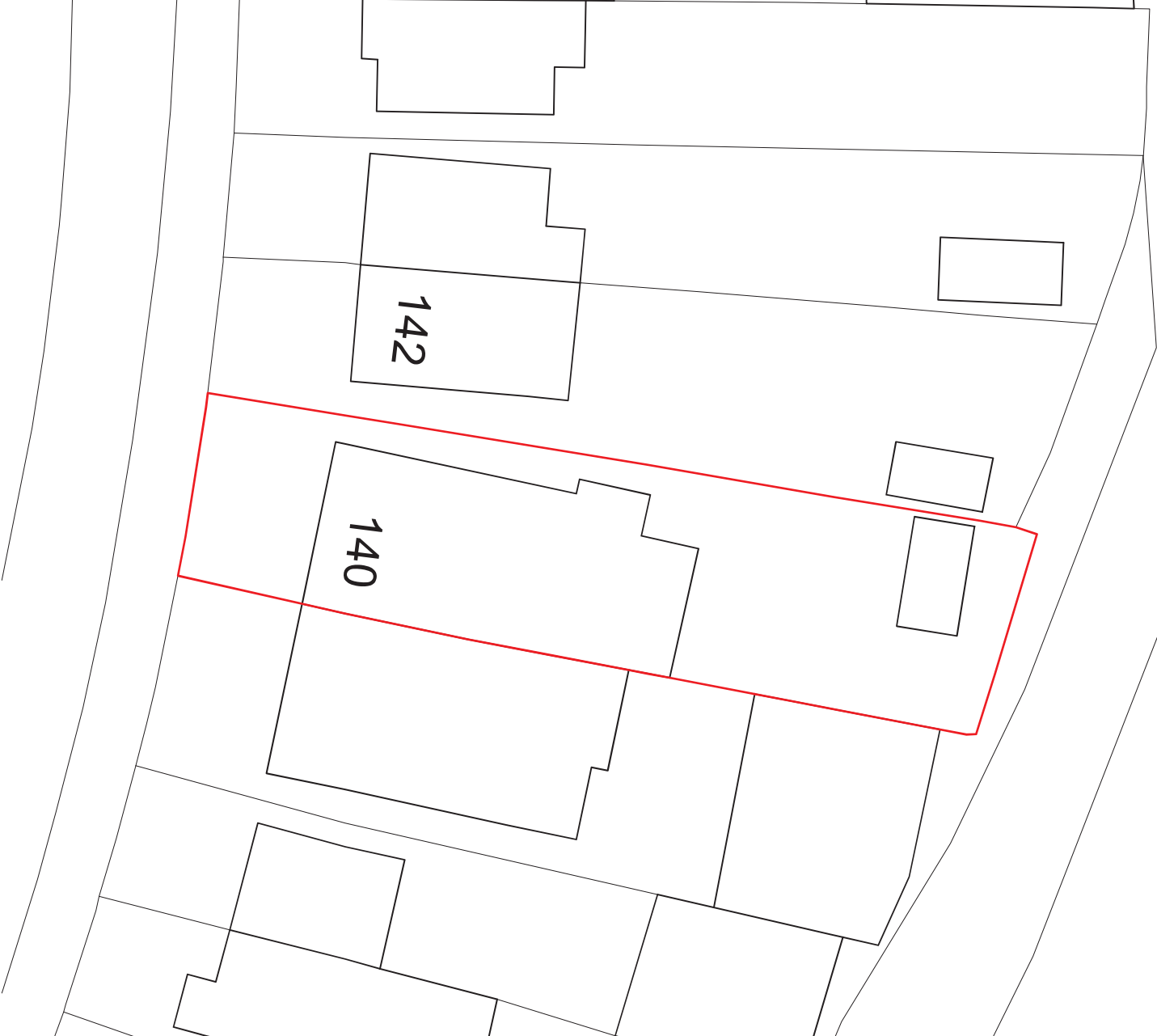
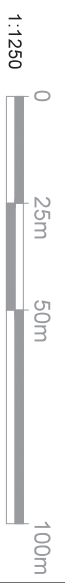
**SIGNATURE PLANS**  
YOUR LOCAL ARCHITECTURE STUDIO

SIGNATURE PLANS LTD.

45 STAMFORD HILL, LONDON N16 5SR

07491265532

INFO@SIGNATUREPLANS.CO.UK



PROPERTY ADDRESS:

**140 FAIRHOLME CRES UB4  
8QY**

PROJECT TITLE:

**PROPOSED HMO PLANS**

SHEET TITLE:

**LOCATION AND SITE PLAN**

DATE:

26 October 2023

REVISION:

R/00

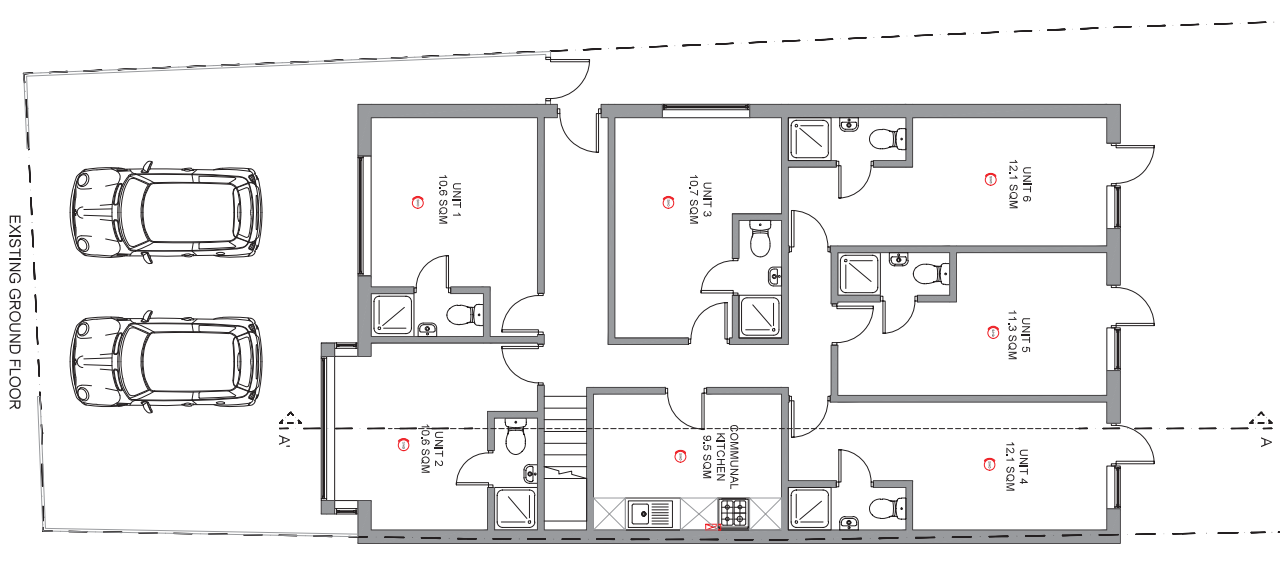
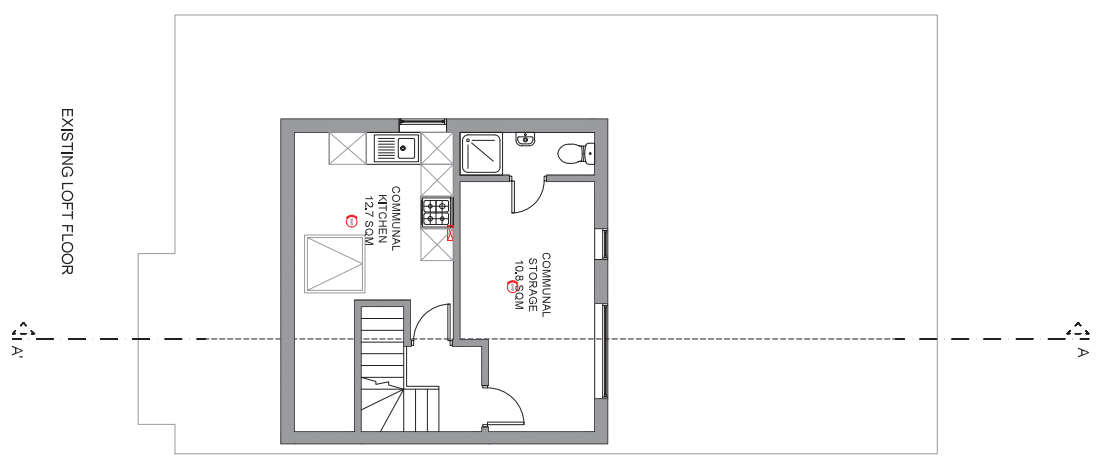
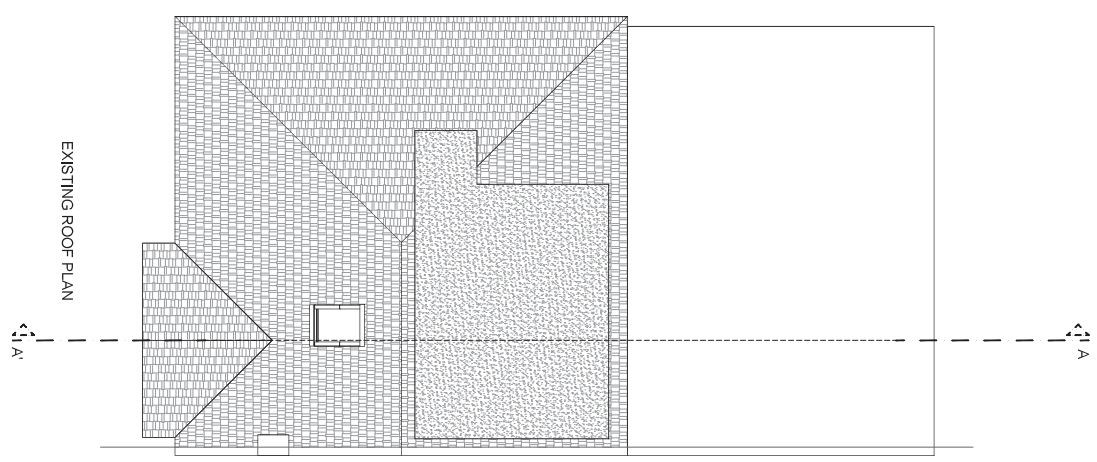
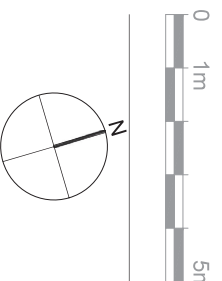
SCALE:

1:200/1:250 @A3

PAGE NO.:

01 OF 06

DESIGN DRAWINGS ARE LIMITED TO THE DESIGN INTENT OF THE AESTHETICS ONLY AND SHALL NOT BE CONSIDERED TO INCLUDE BUILDING CODE REQUIREMENTS INCLUDING BUT NOT LIMITED TO STRUCTURAL, FIRE PROTECTION, ENERGY EFFICIENCY, FUNCTIONALITY, OR OTHER CONSTRUCTION REQUIREMENTS. THESE PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RELEVANT LICENSED DESIGN PROFESSIONALS



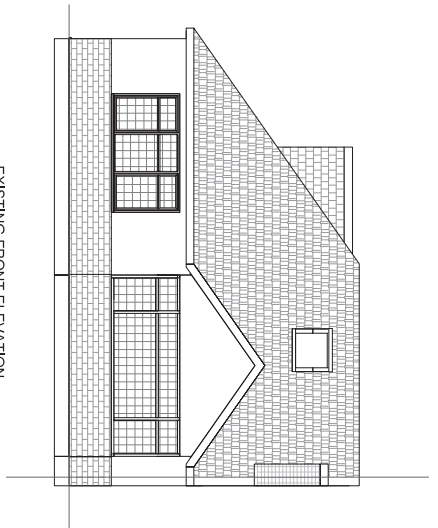
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SIGNATURE PLANS LTD.

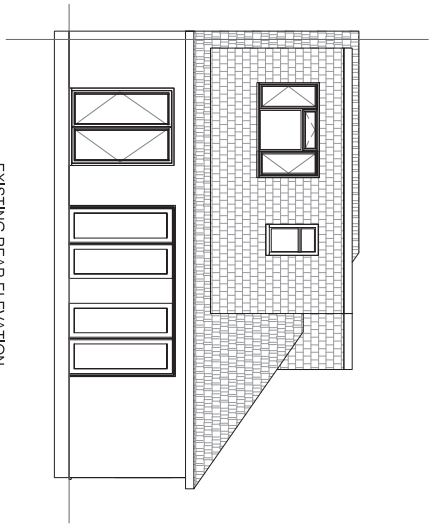
45 STAMFORD HILL, LONDON N16 5SR

07491266532

INFO@SIGNATUREPLANS.CO.UK



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



PROPERTY ADDRESS:

140 FAIRHOLME CRES UB4  
80Y

PROJECT TITLE:

PROPOSED HMO PLANS

SHEET TITLE:

EXISTING FRONT AND REAR  
ELEVATIONS

DATE: 26 October 2023

REVISION: R/00

SCALE: 1:100 @A3

PAGE NO: 03 OF 08

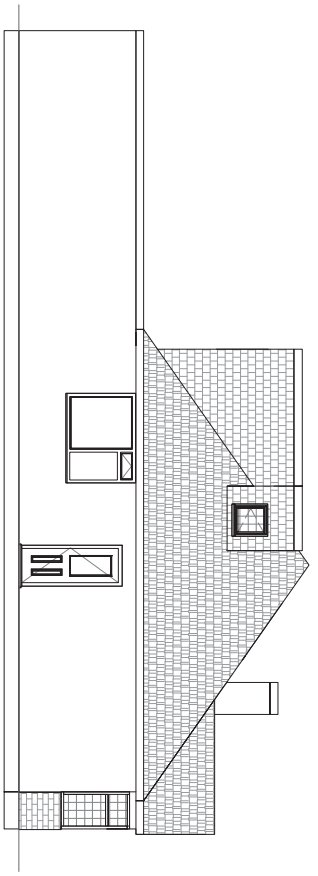


SIGNATURE PLANS LTD.

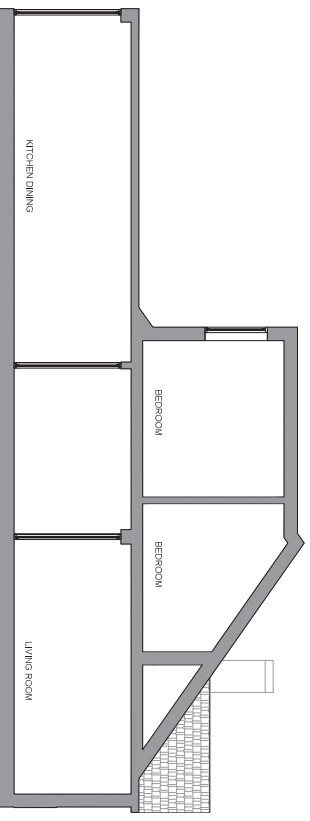
45 STAMFORD HILL, LONDON N16 5SR

074912665532

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EXISTING SIDE ELEVATION



EXISTING SECTION



PROPERTY ADDRESS:

**140 FAIRHOLME CRES UB4  
8QY**

PROJECT TITLE:

**PROPOSED HMO PLANS**

SHEET TITLE:

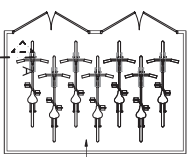
**EXISTING SIDE ELEVATION AND  
SECTION**

DATE: 26 October 2023

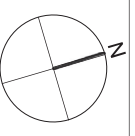
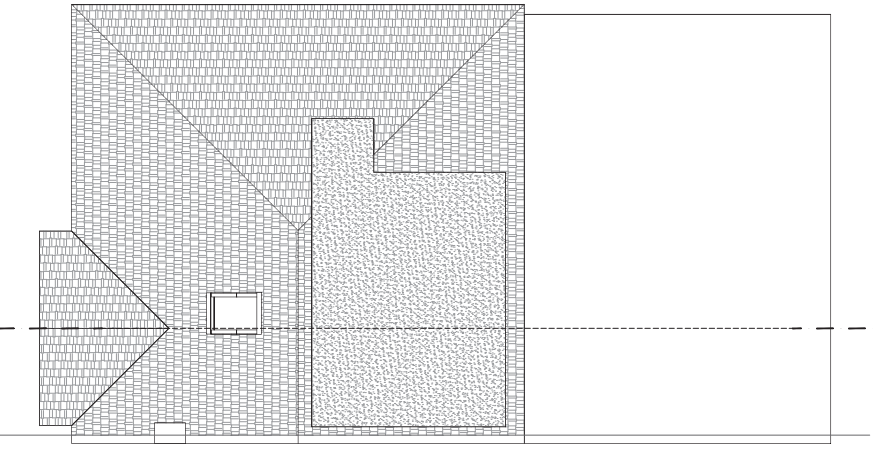
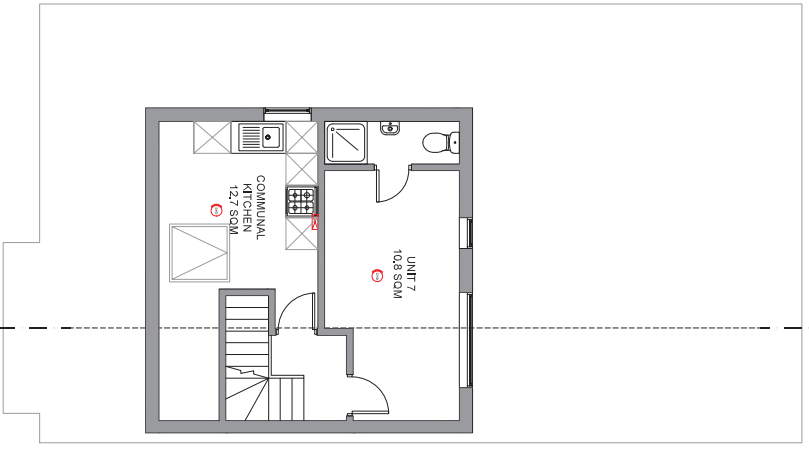
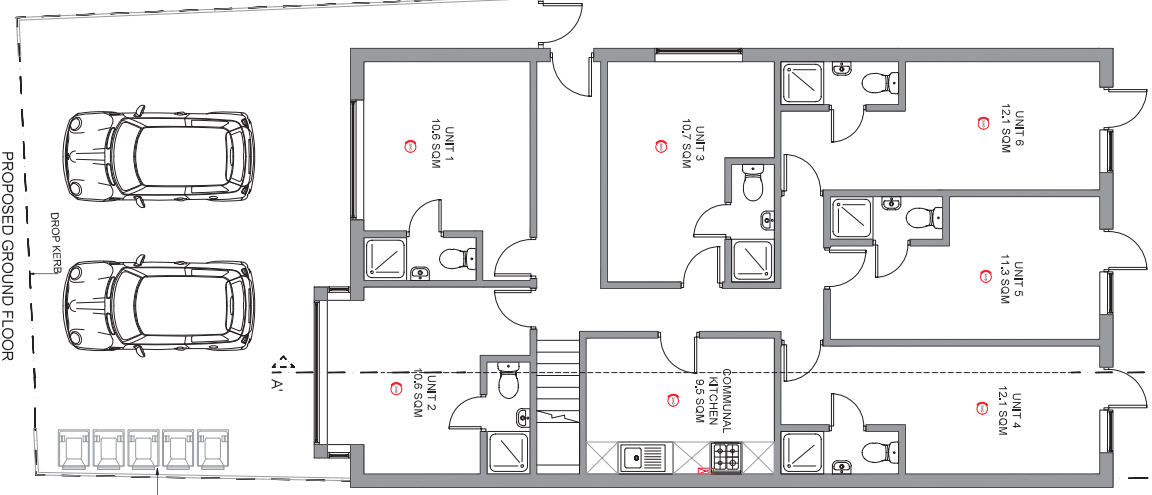
REVISION: R/00

SCALE: 1:100 @A3

PAGE NO: 04 OF 08



CYCLE STORAGE X7  
COVERED AND RAIN-PROOF



PROPERTY ADDRESS:  
**140 FAIRHOLME CRES UB4  
80Y**

PROJECT TITLE:

PROPOSED HMO PLANS

SHEET TITLE:

PROPOSED FLOOR PLANS

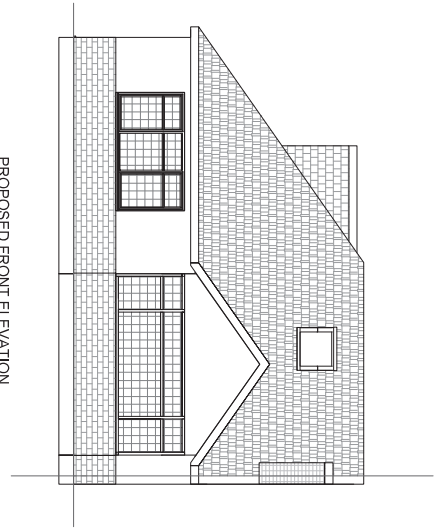
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REVISION: R100  
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PAGE NO: 05 OF 08

SIGNATURE PLANS LTD.

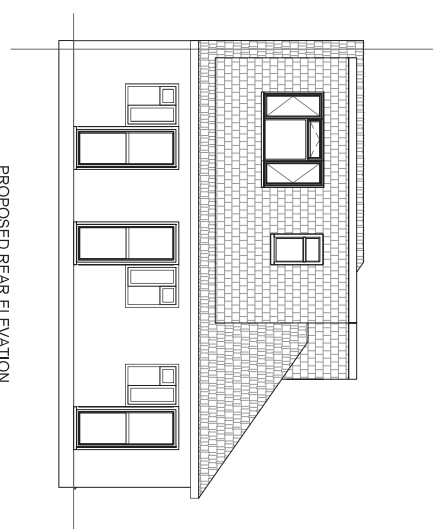
45 STAMFORD HILL, LONDON N16 5SR

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PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPERTY ADDRESS:

140 FAIRHOLME CRES UB4  
80Y

PROJECT TITLE:

PROPOSED HMO PLANS

SHEET TITLE:

PROPOSED FRONT AND REAR  
ELEVATIONS

DATE: 26 October 2023

REVISION: R/00

SCALE: 1:100 @A3

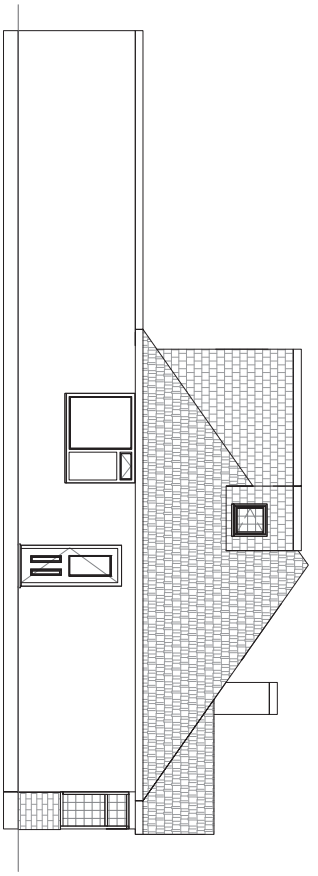
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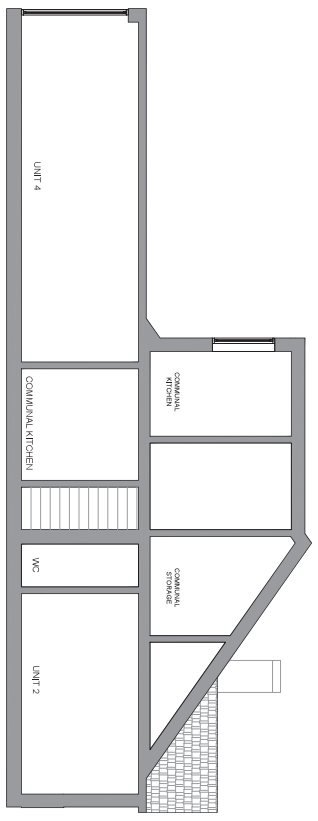
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PROPOSED SIDE ELEVATION



PROPOSED SECTION



PROPERTY ADDRESS:  
**140 FAIRHOLME CRES UB4  
8QY**

PROJECT TITLE:  
**PROPOSED HMO PLANS**

SHEET TITLE:  
**PROPOSED SIDE ELEVATION AND  
SECTION**

DATE: 26 October 2023  
REVISION: R100  
SCALE: 1:100 @A3  
PAGE NO: 07 OF 08

90°

120°

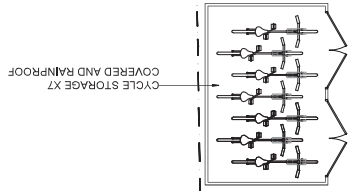
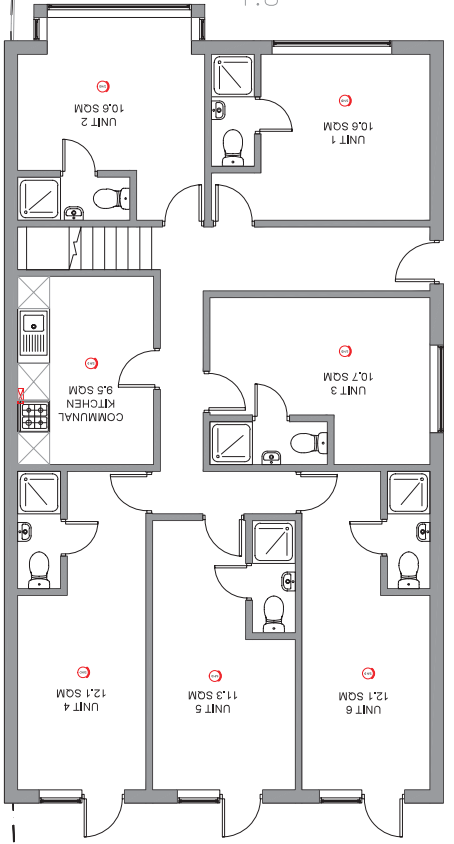
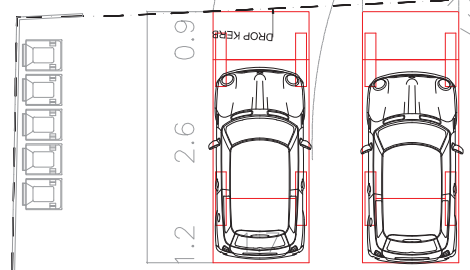
2.4m

Rt=5.5m

PROPOSED GROUND FLOOR

6.0  
2.6  
1.2

1.8

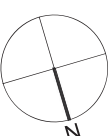


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PROPERTY ADDRESS:

**140 FAIRHOLME CRES UB4  
80Y**

PROJECT TITLE:

**PROPOSED HMO PLANS**

SHEET TITLE:

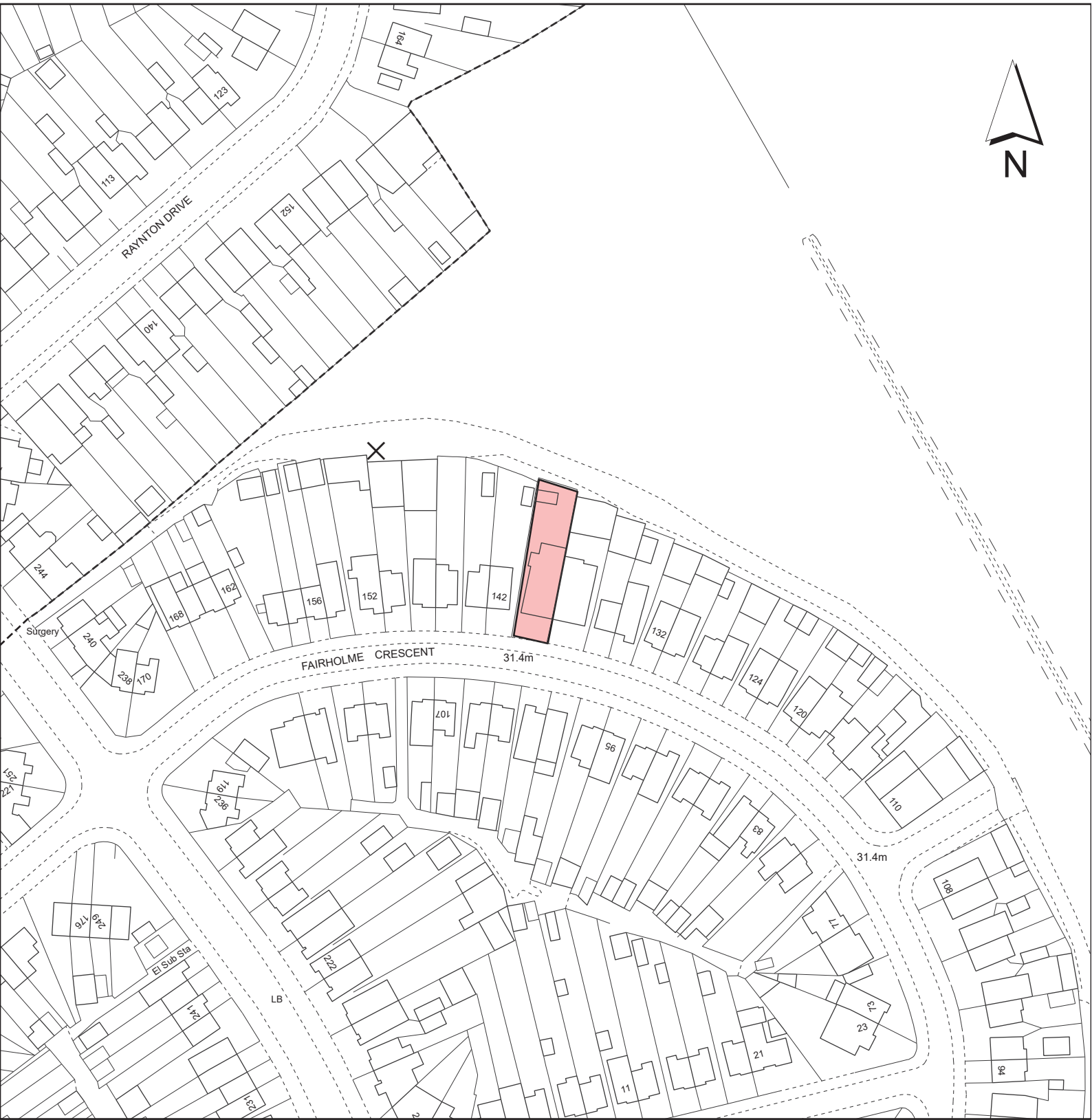
**PROPOSED SITE PLAN**



DATE: 26 October 2023

REVISION: R100

SCALE: 1:100 @A3

PAGE NO: 08 OF 08



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 140 Fairholme Crescent, Hayes		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 15/01/2025	

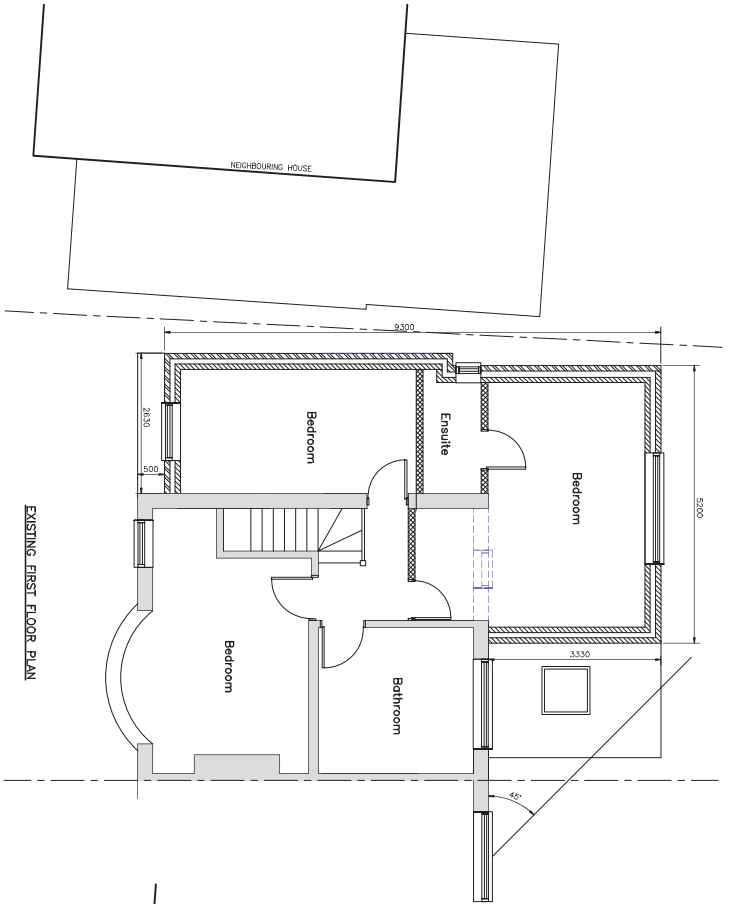
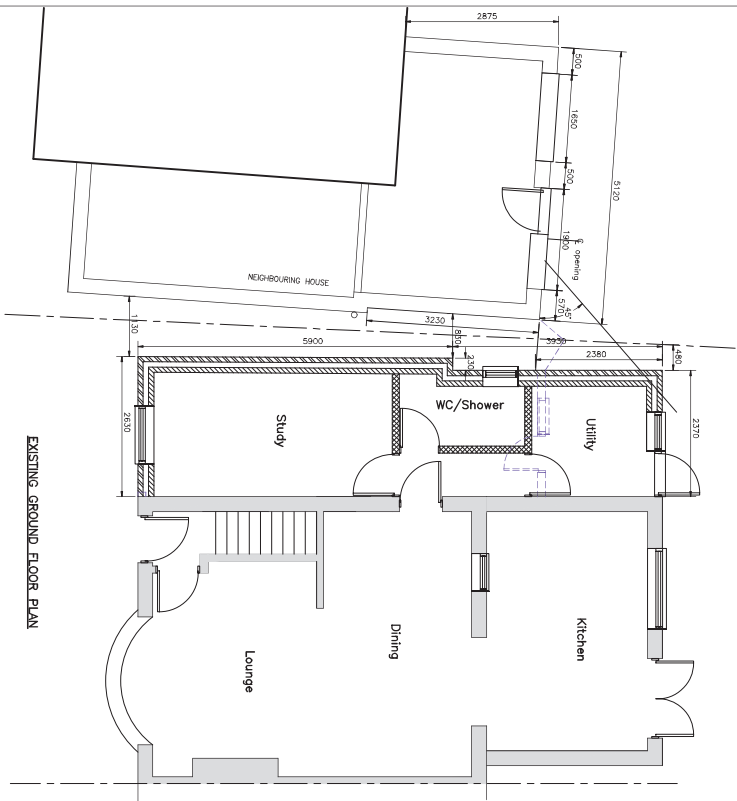
**Report of the Head of Development Management and Building Control**

**Address:** 100 Exmouth Road, Ruislip

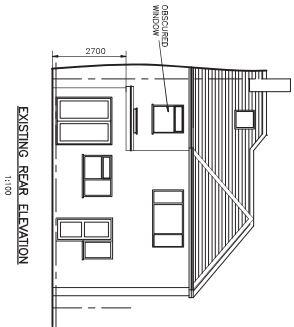
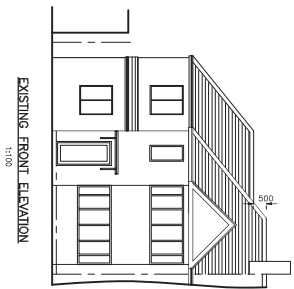
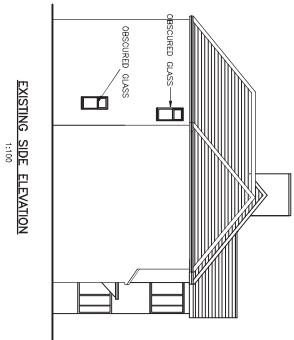
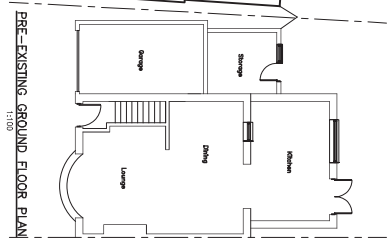
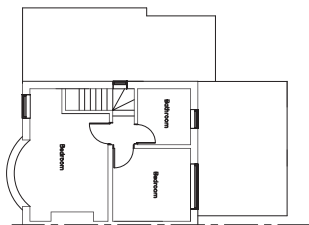
**Development:** Retention of a double storey rear and side extension with amendments to fenestration and height of existing single storey rear extension (retrospective)

**LBH Ref Nos:** 42576/APP/2024/2465

SCALE 1:50



PRE-EXISTING FIRST FLOOR PLAN  
1:100



SCALE 1:100

SITE LOCATION PLAN  
1:1:250



**Project**  
PROPOSED TWO STOREY  
SIDE & PART REAR WRAP  
AROUND EXTENSION  
100 EXMOUTH ROAD  
LONDON  
HA4 0UH

**KDA Designs Ltd**  
Architectural & Structural Services  
www.kdadesigns.co.uk  
info@kdadesigns.co.uk

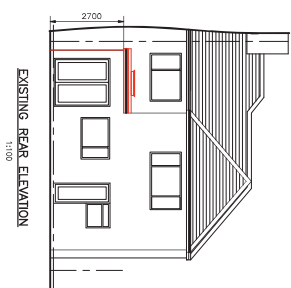
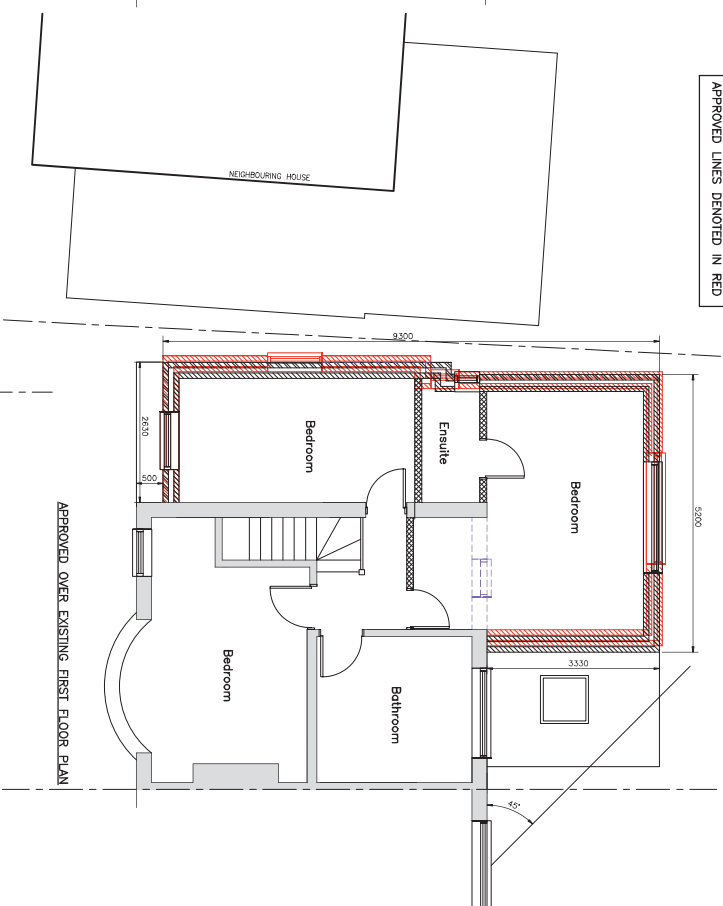
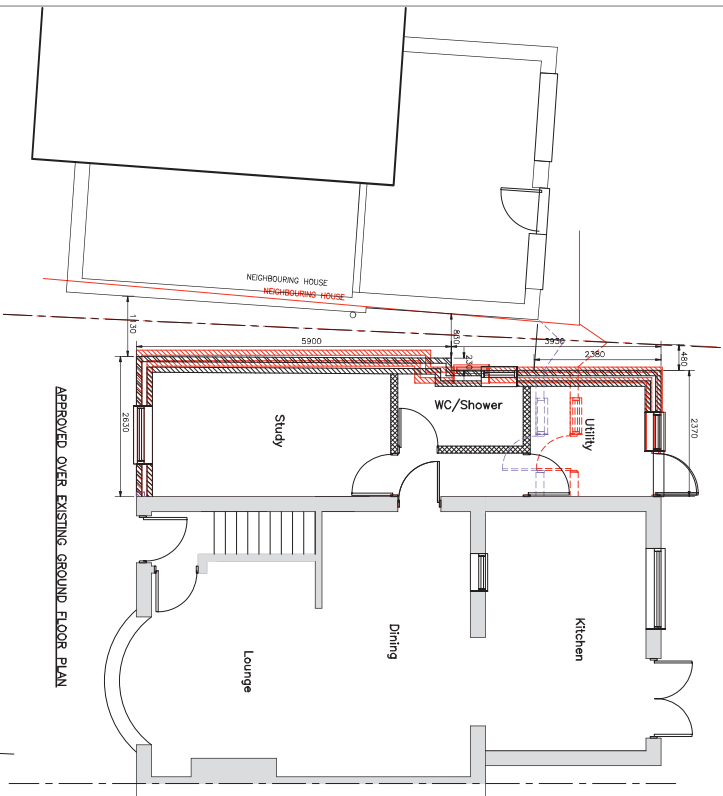
Rev	Description	Date
B	ISSUED TO SITE REPRESENTATIVE BR	24/10/24
A	DIMENSIONS CORRECTED TO SITE HOSE TAKEN AT SITE MEETING DATED 16/09/24	16/09/24

**Issued by**  
EXISTING PLANS & ELEVATIONS

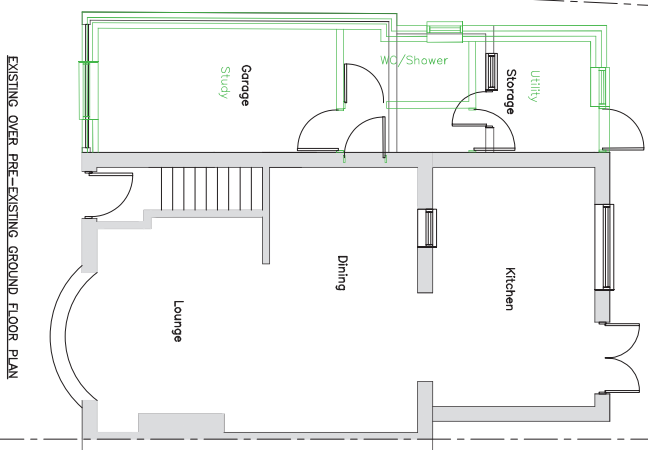
Drawn	Checked	Date
KMA	KMA	AUGUST 2024
Scale: A4(1:50)	Date:	AUGUST 2024
Sheet: P101	Rev No.:	B



SCALE 1:50



EXISTING LINES DENOTED IN GREEN



Rev	Description	Date
8	ISSUED TO CLIENT AND ARCHITECT MAIN BR	24/09/24
A	OVERLAY UPDATED & EXTENSION ADDED	17/10/24
	EXISTING OVER PRE-EXISTING ADDED	



**KDA Designs Ltd**  
Architectural & Structural Services  
www.kdadesigns.co.uk  
info@kdadesigns.co.uk

**Project**  
PROPOSED TWO STOREY  
SIDE & PART REAR WRAP  
AROUND EXTENSION  
100 EXMOUTH ROAD  
LONDON  
HA4 0UH

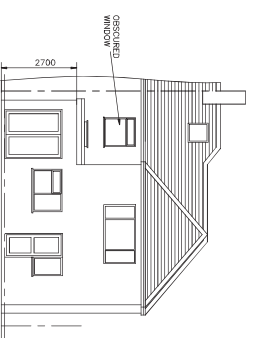
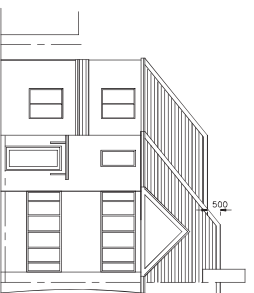
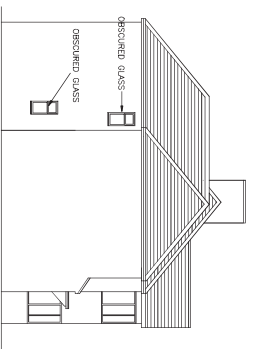
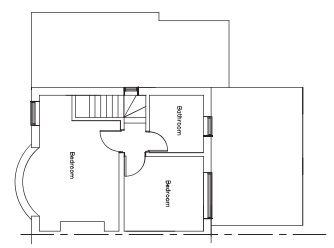
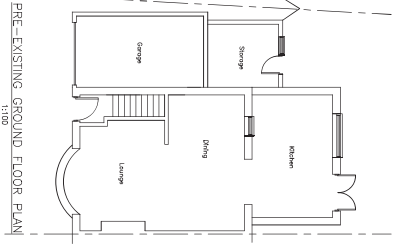
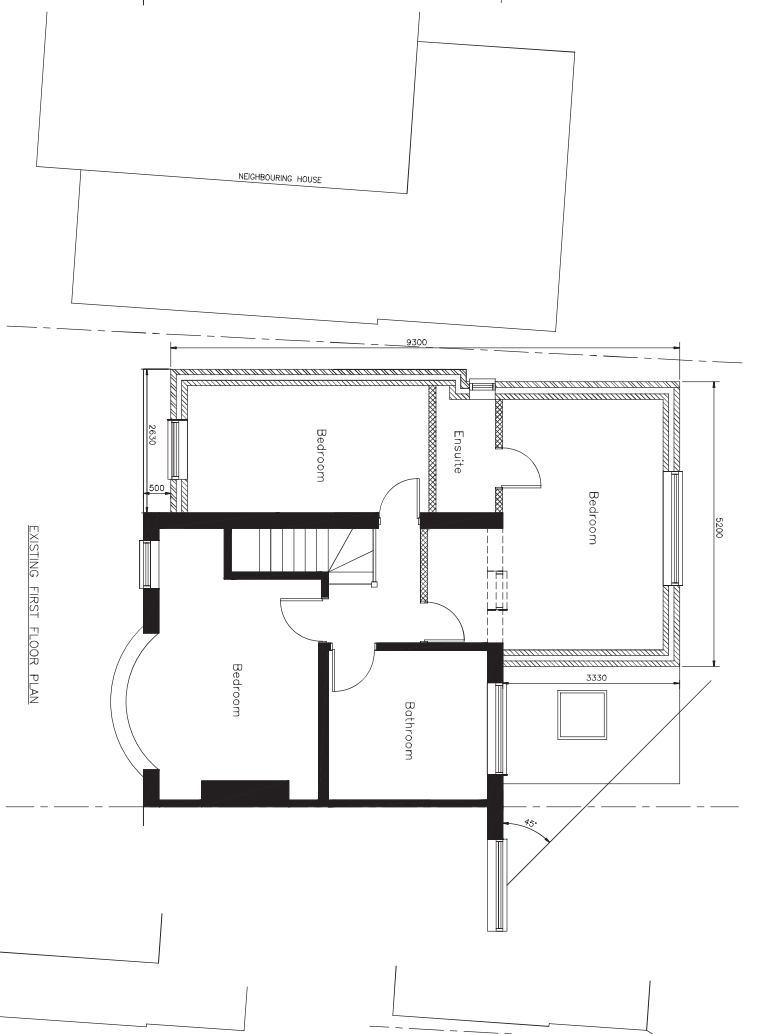
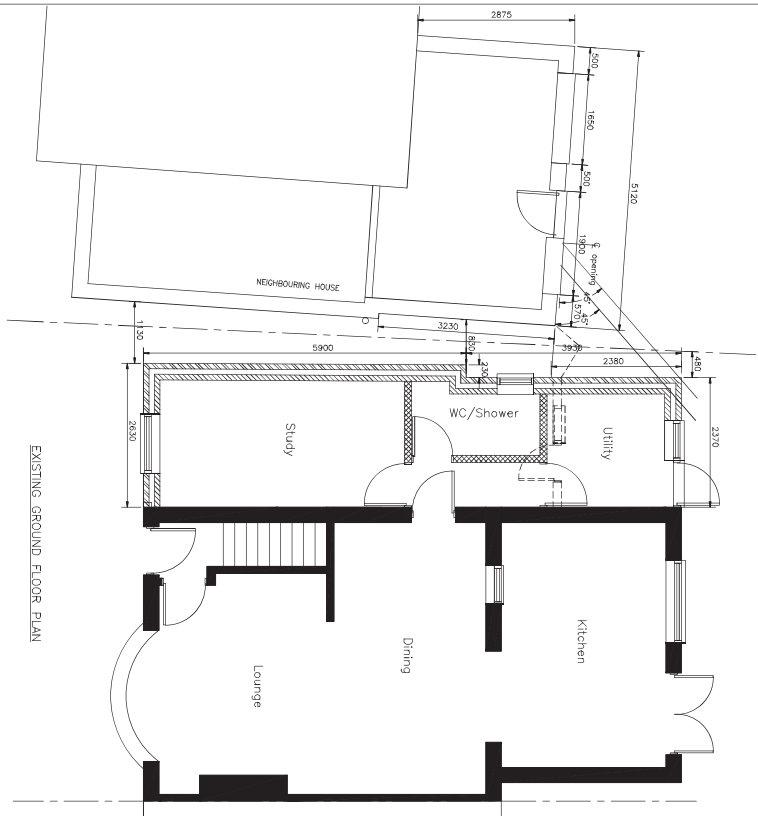
**Issued**  
OVERLAY OF APPROVED/EXISTING PLANS

Drawn	Checkd	Date
KJA		AUGUST 2024
Scale: A4(1:50)	Date:	AUGUST 2024
Sheet: Pg. No.		

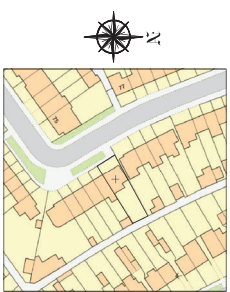
100ER/P102

B

SCALE 1:150





SCALE 1:100



<p><b>KDA Designs Ltd</b> Architectural &amp; Structural Services kda@kdaengineers.co.uk www.kdaengineers.co.uk</p>		<p>24/10/24</p>
<p>Project: PROPOSED TWO STOREY SIDE &amp; PART REAR WRAP AROUND EXTENSION 100 ELMOUTH ROAD LONDON HA4 0UH</p>	<p>16/10/24</p>	<p>16/10/24</p>
<p>Revised: A</p>	<p>DESCRIPTION CORRECTED TO SITE THOSE TAKEN AT SITE VISIT DATED 16/10/24</p>	<p>16/10/24</p>
<p>Revised: B</p>	<p>AMENDED TO SITE MEASUREMENT TAKEN BY PLANNING OFFICER DATED 24/10/24</p>	<p>24/10/24</p>
<p>Drawn: KDA</p>	<p>Checked: KDA</p>	<p>Scale: A1/B1:50 Date: AUGUST 2024</p>
<p>Sheet: Dns No.</p>	<p>100ER/P101</p>	<p>Rev: B</p>

EXISTING PLANS & ELEVATIONS



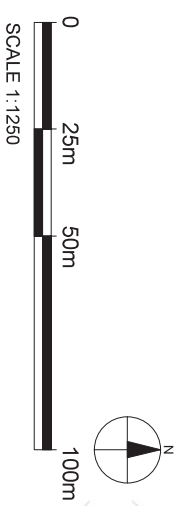
<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b>  100 Exmouth Road, Ruislip		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>  <b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
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<b>PLANNING COMMITTEE :</b>		<b>DATE :</b>  15/01/2025	

**Report of the Head of Development Management and Building Control**

**Address:** 28 Varcoe Gardens, Hayes

**Development:** Conversion of integral garage to habitable accommodation with alterations to fenestration.

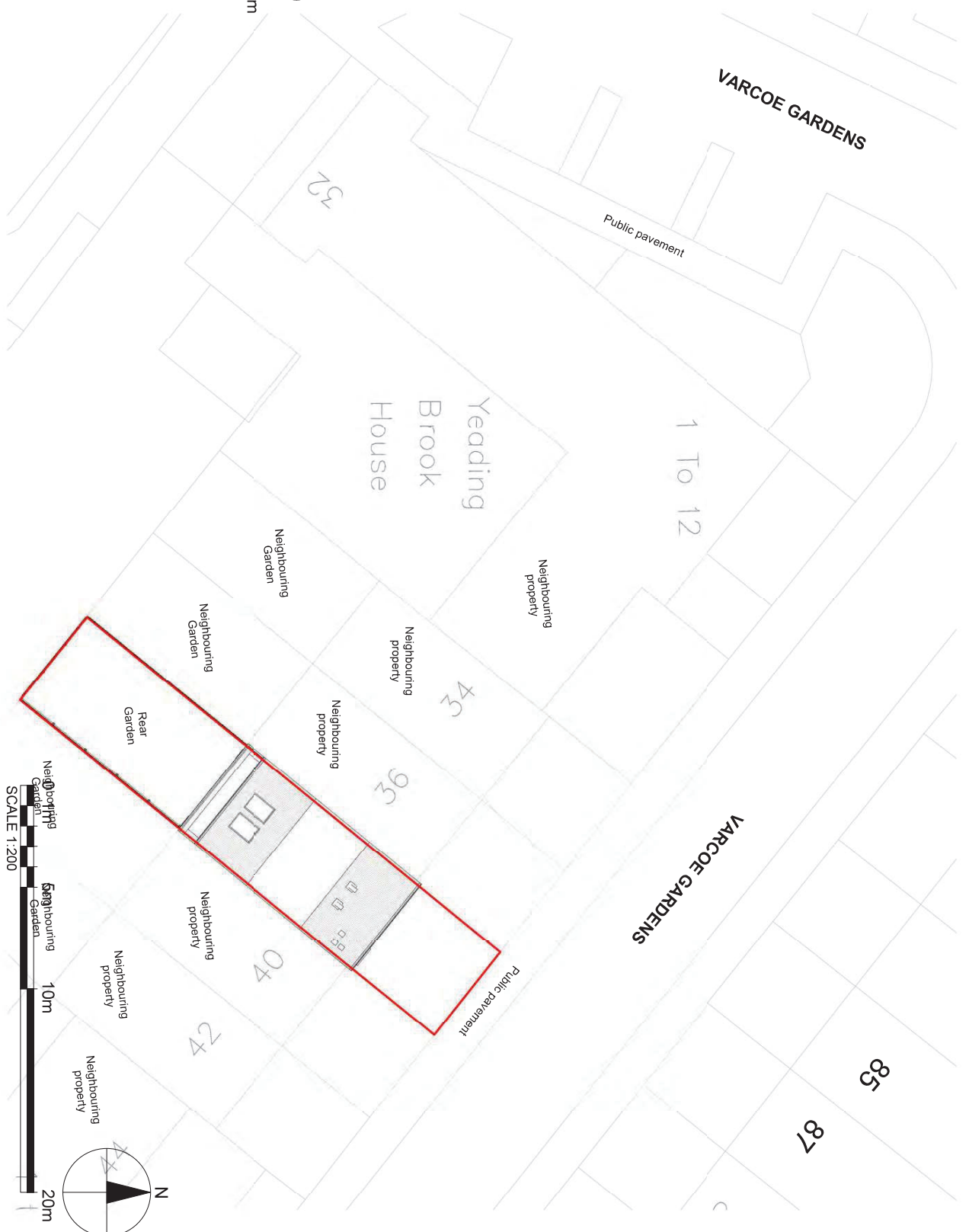
**LBH Ref Nos:** 79116/APP/2024/2794



Property Boundary

Property Boundary Area = 135.01 sqm

Internal G.I.A = 126.49 sqm



**Project No.'s**

REV	DATE	DESCRIPTION	BY	CH

**PROJECT TITLE**

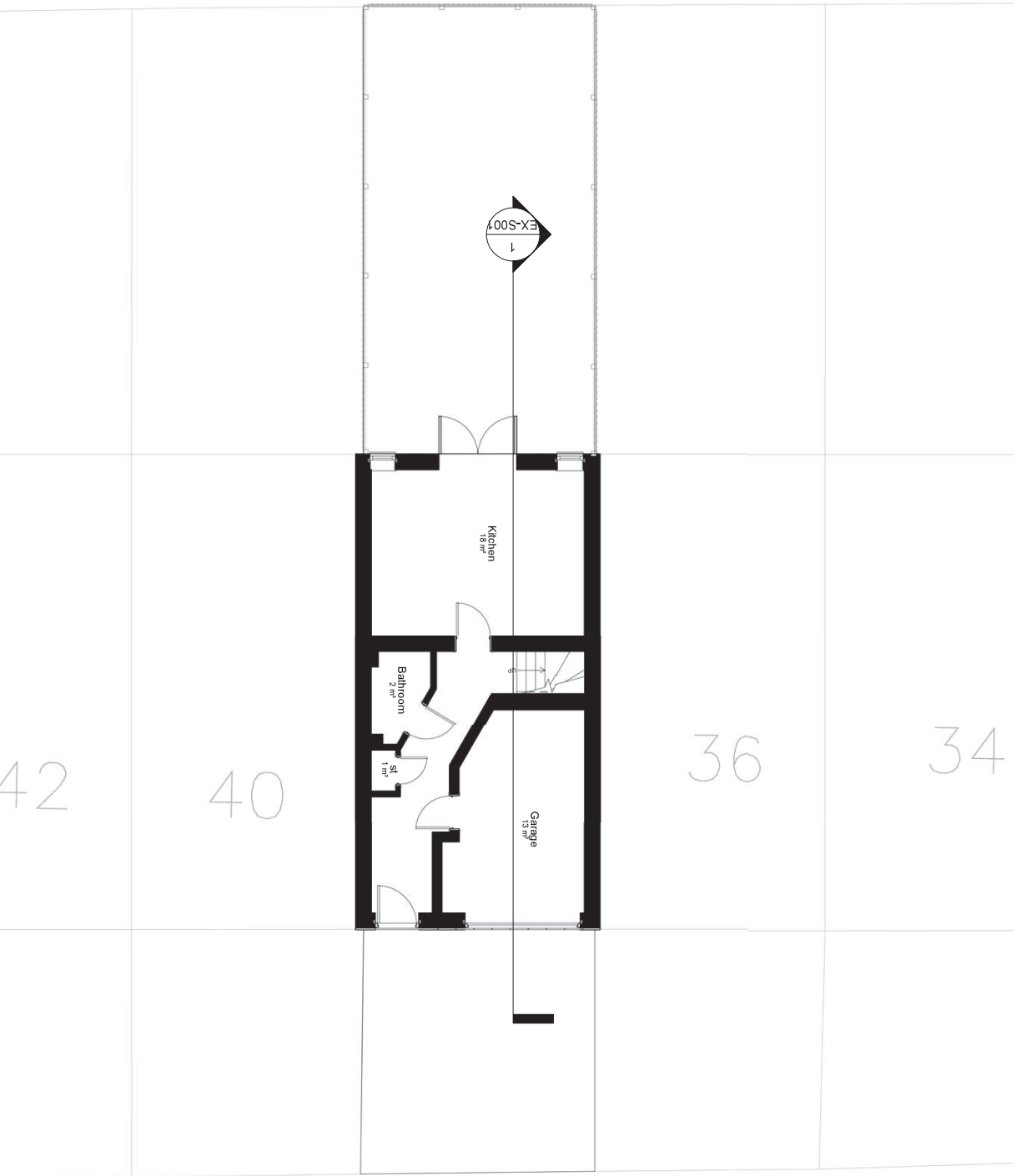
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Oct.2024	8720

**DRAWING TITLE**

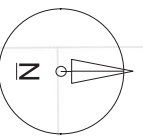
Existing OS Map/ Location Plan	DRAWING No.	SCALE @ A3	Drawn by:
	EX-L001	Aswathy	

PLANNING SERVICES  
 Unit 9b, The High Cross Centre,  
 Fountayne Rd,  
 N15 4AE  
 TEL: 020 8862 3481  
 www.planningservices.co.uk

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EX-S001  
1



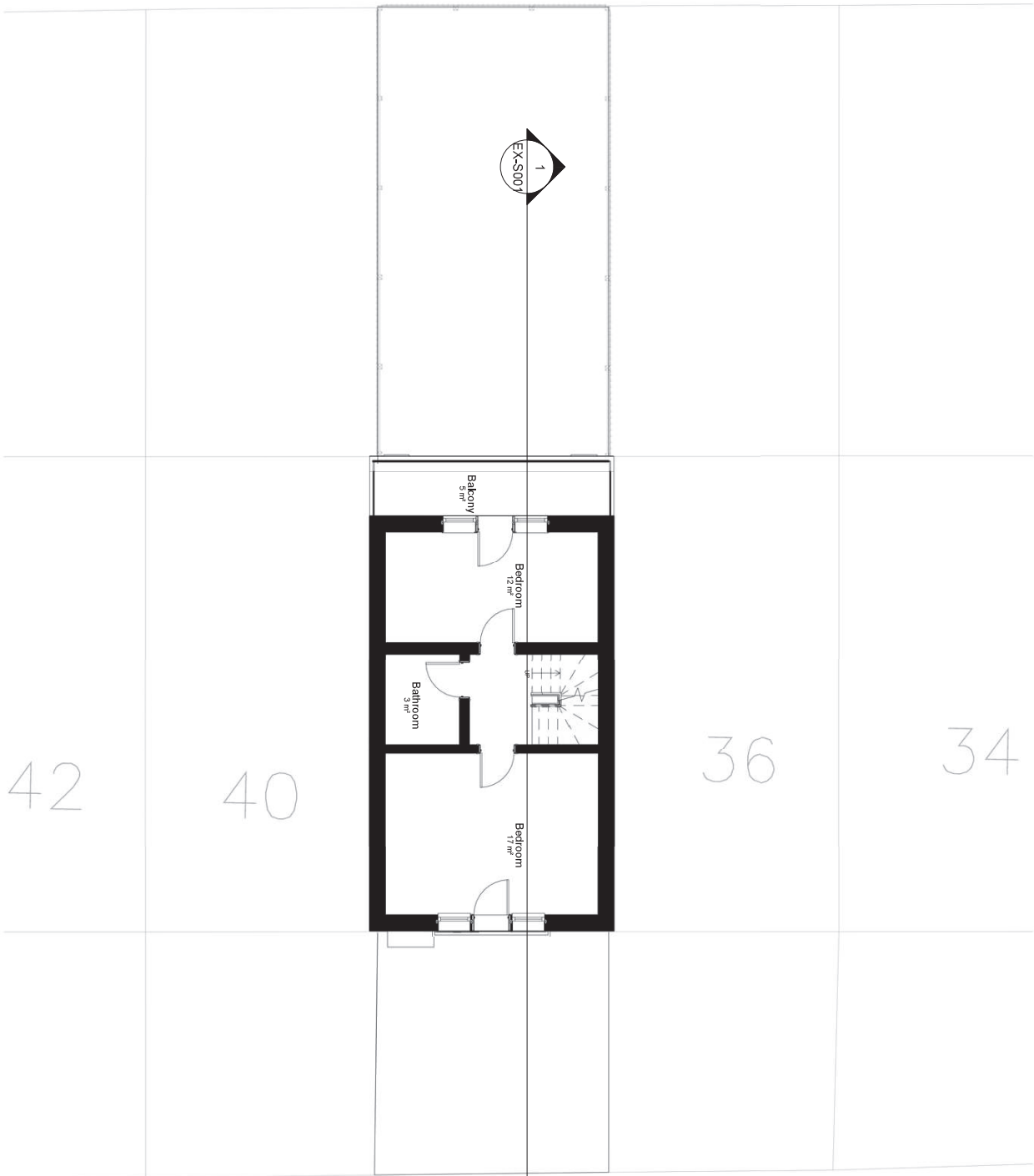
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Existing ground floor		EX-P001	1 : 100	Aswathy

PLANNING SERVICES  
Unit 9b, The High Cross Centre,  
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N154BE  
TEL: 020 8862 3481  
www.planningservices.co.uk



1  
EX-S001

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Project No. S		REV	DATE	DESCRIPTION	BY	CH

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Existing First Floor Plan	
<b>DRAWING No.</b>	EX-P002	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

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N154BE  
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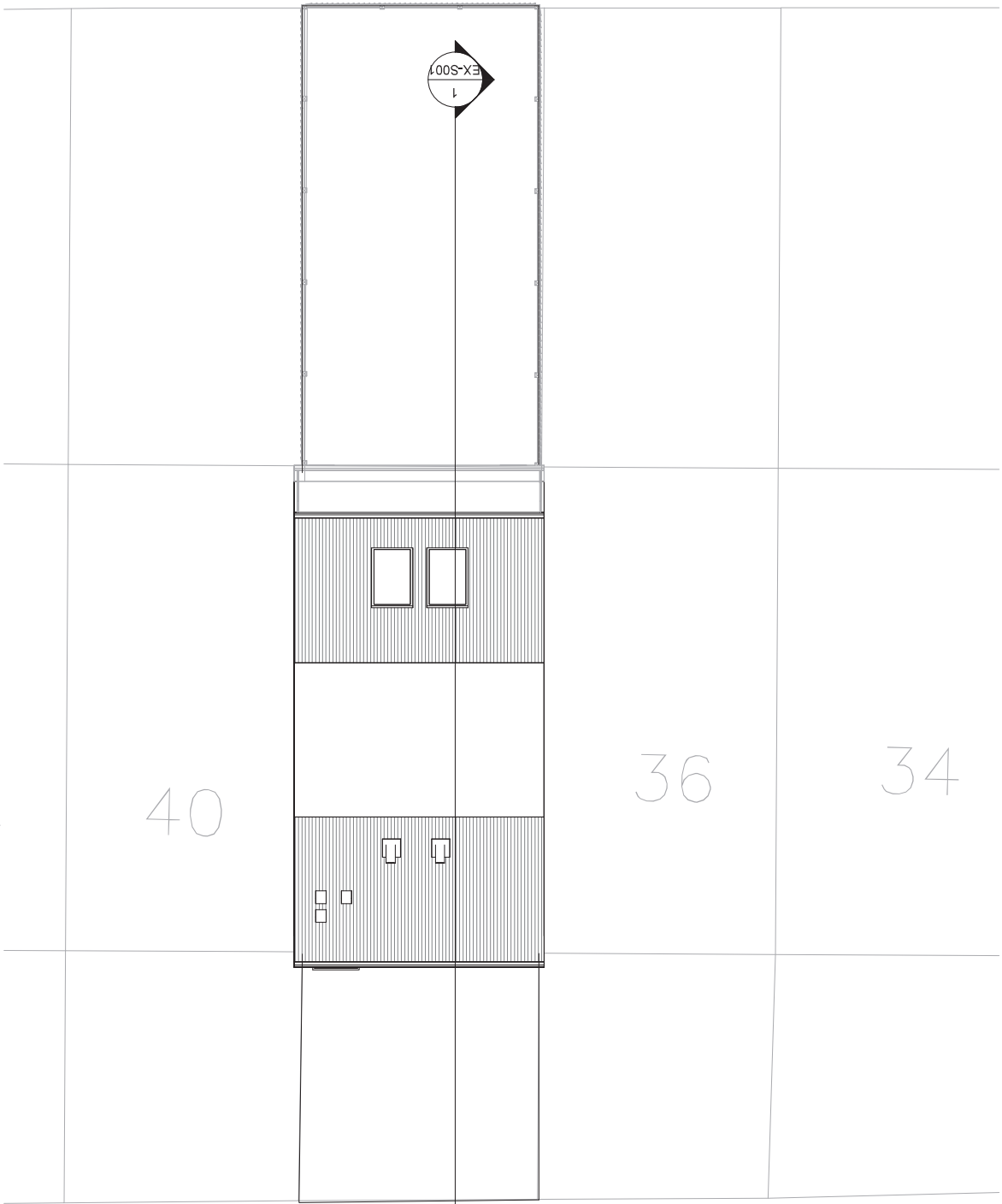
Project No.'s		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Existing Second Floor Plan		EX-P003	1 : 100	Aswathy


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 Fountayne Rd,  
 N15 4AE  
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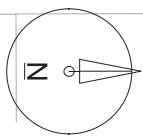
EX-S004  
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42

40

36

34



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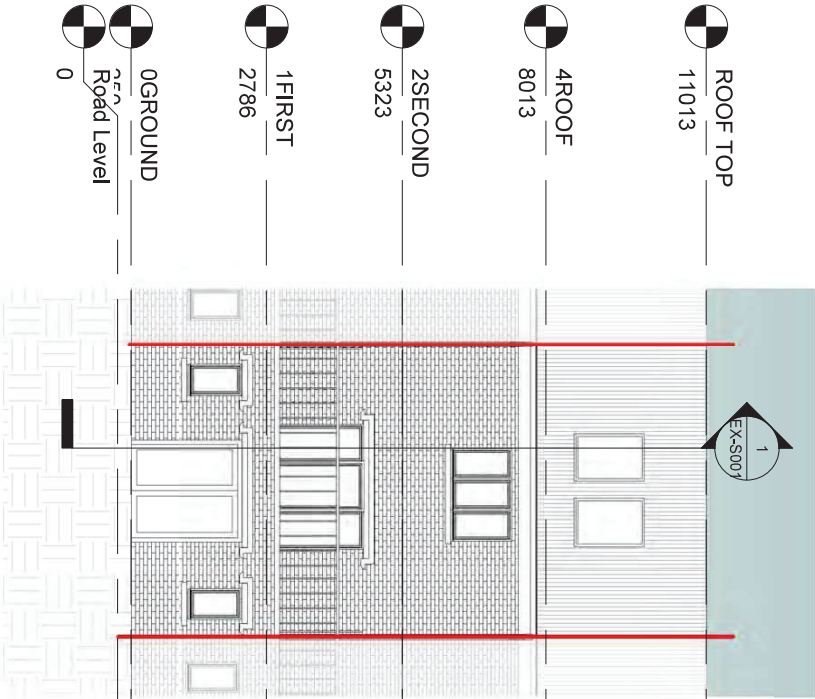
Project No.'s		DATE	DESCRIPTION	BY	CH
REV					

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

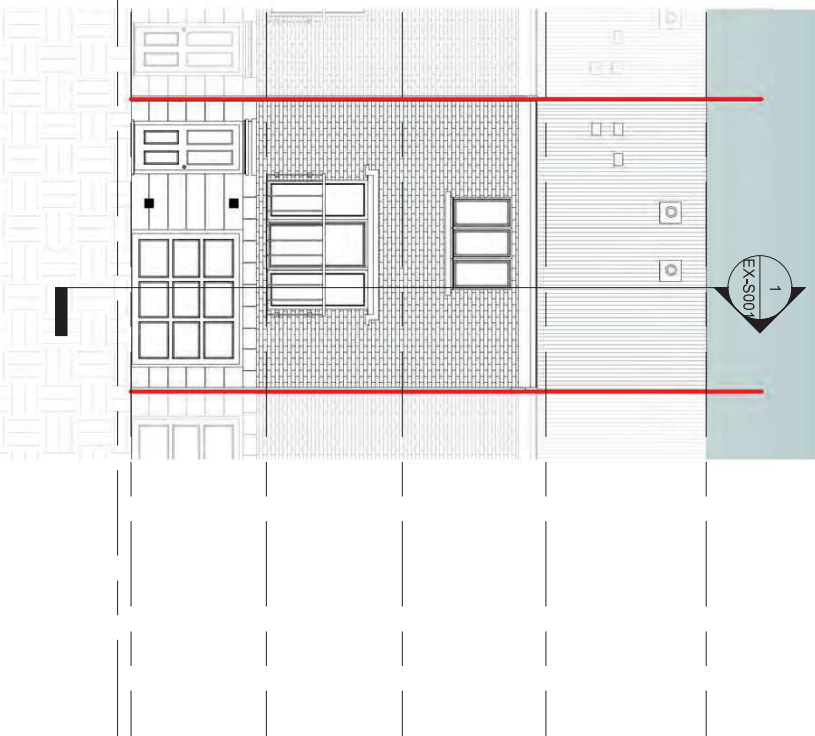
<b>DRAWING TITLE</b>		Existing Roof Plan	
<b>DRAWING No.</b>	EX-P004	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

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N154BE  
TEL: 020 8862 3481  
www.planningservices.co.uk

1 Rear  
1 : 100



2 Front  
1 : 100



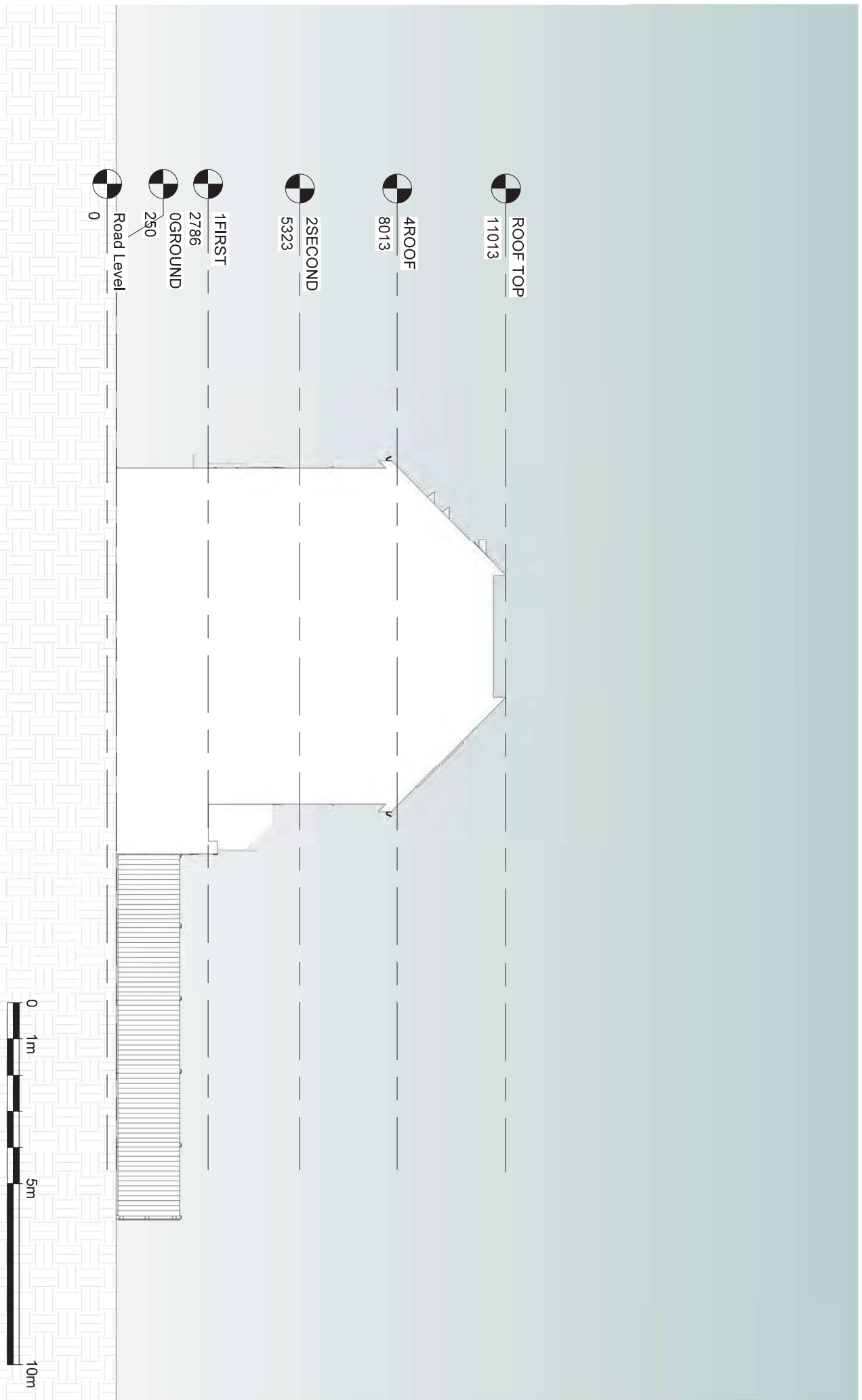
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

<b>PROJECT TITLE</b>	38 Varcoe Gardens UB3 2FH
<b>DATE</b>	Oct.2024
<b>Project No.</b>	8720

<b>DRAWING TITLE</b>	Existing Front & Rear Elevations
<b>DRAWING No.</b>	EX-E001
<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>	Aswathy

PLANNING SERVICES  
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N154BE  
TEL: 020 8862 3481  
www.planningservices.co.uk



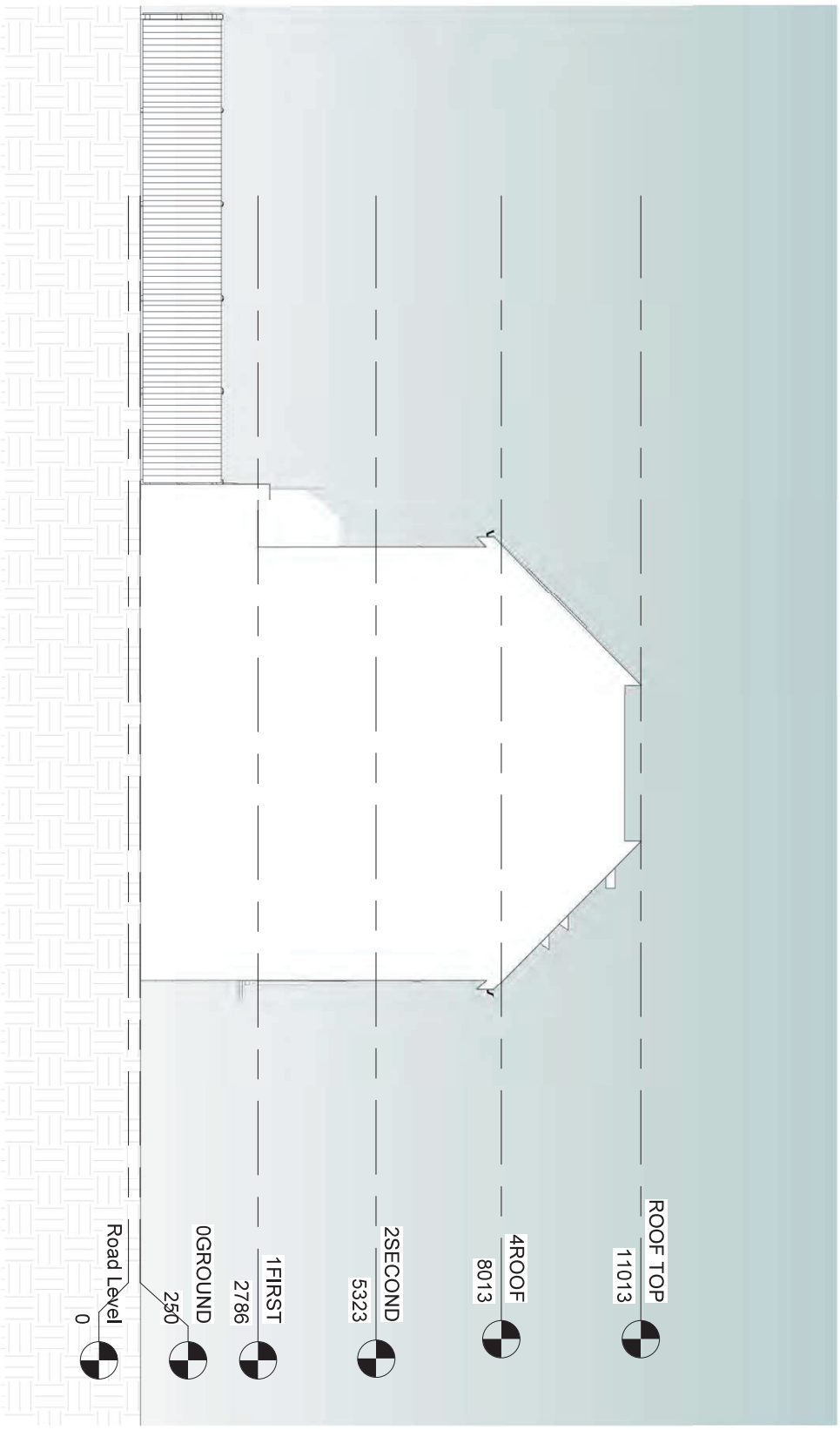
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Existing Side Elevation 1	
<b>DRAWING No.</b>	EX-E002	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

PLANNING SERVICES  
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 Fountayne Rd,  
 N154BE  
 TEL: 020 8862 3481  
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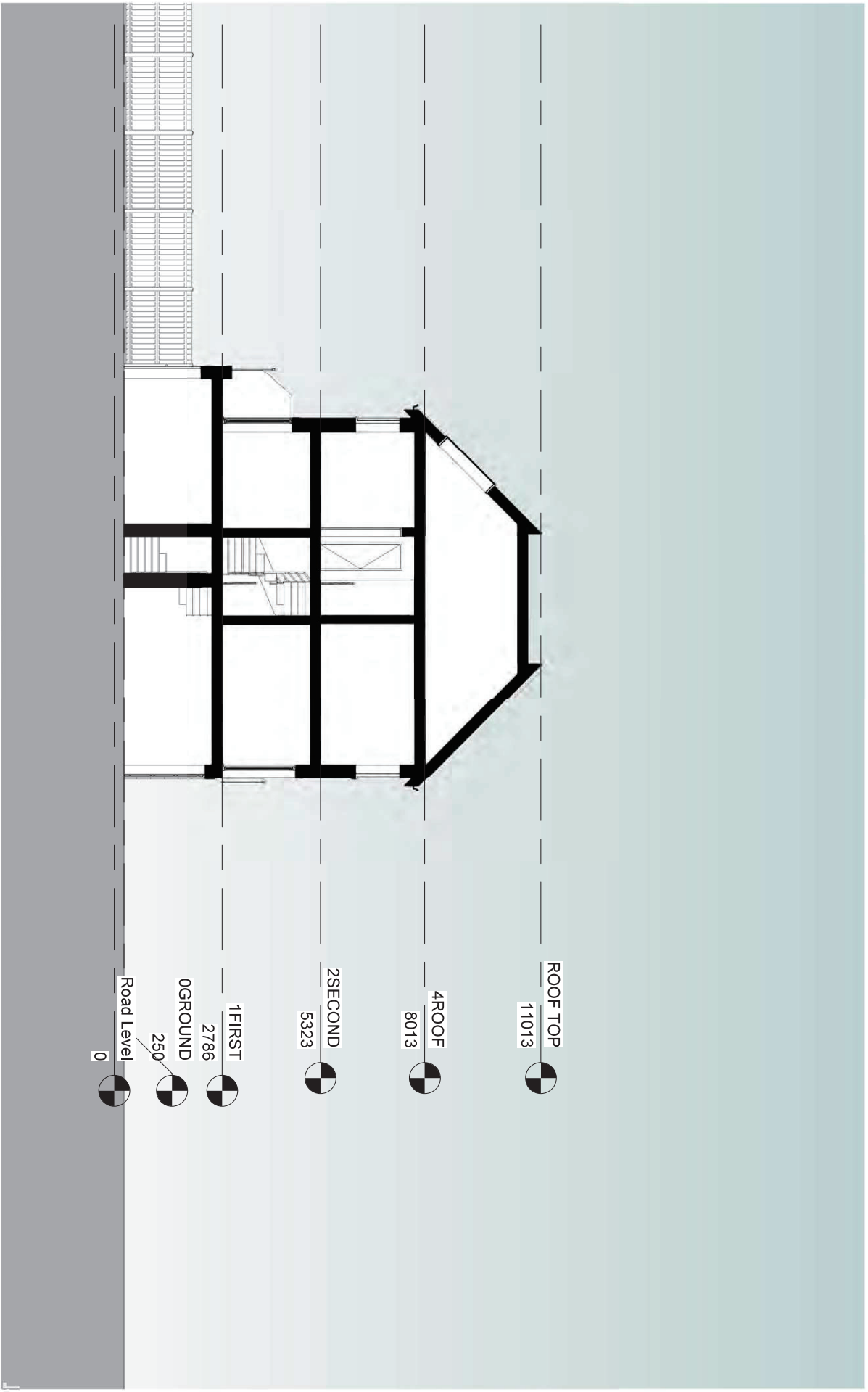
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Existing Side Elevation 2	
<b>DRAWING No.</b>	EX-E003	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

PLANNING SERVICES  
 Unit 9b, The High Cross Centre,  
 Fountayne Rd,  
 N15 4AE  
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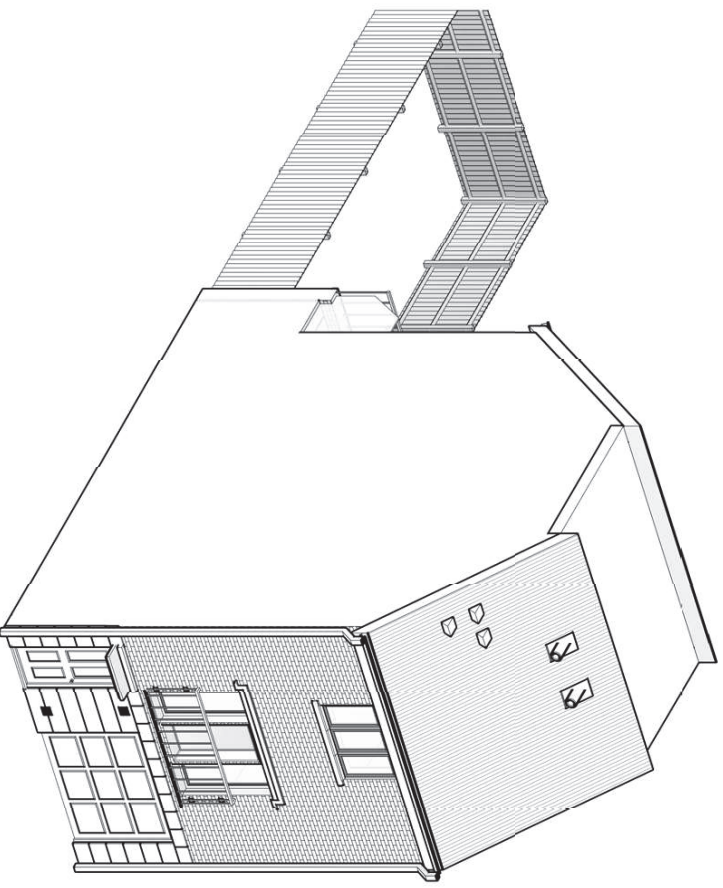
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Project No.'s			BY	CH
REV	DATE	DESCRIPTION		

PROJECT TITLE	
DATE	Project No.
Oct.2024	8720

DRAWING TITLE		SCALE @ A3		Drawn by:
Existing Section AA		1 : 100		Aswathy
DRAWING No.	EX-S001			

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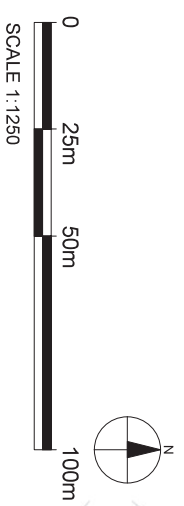
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Existing Perspective View		EX-PE001		Aswathy

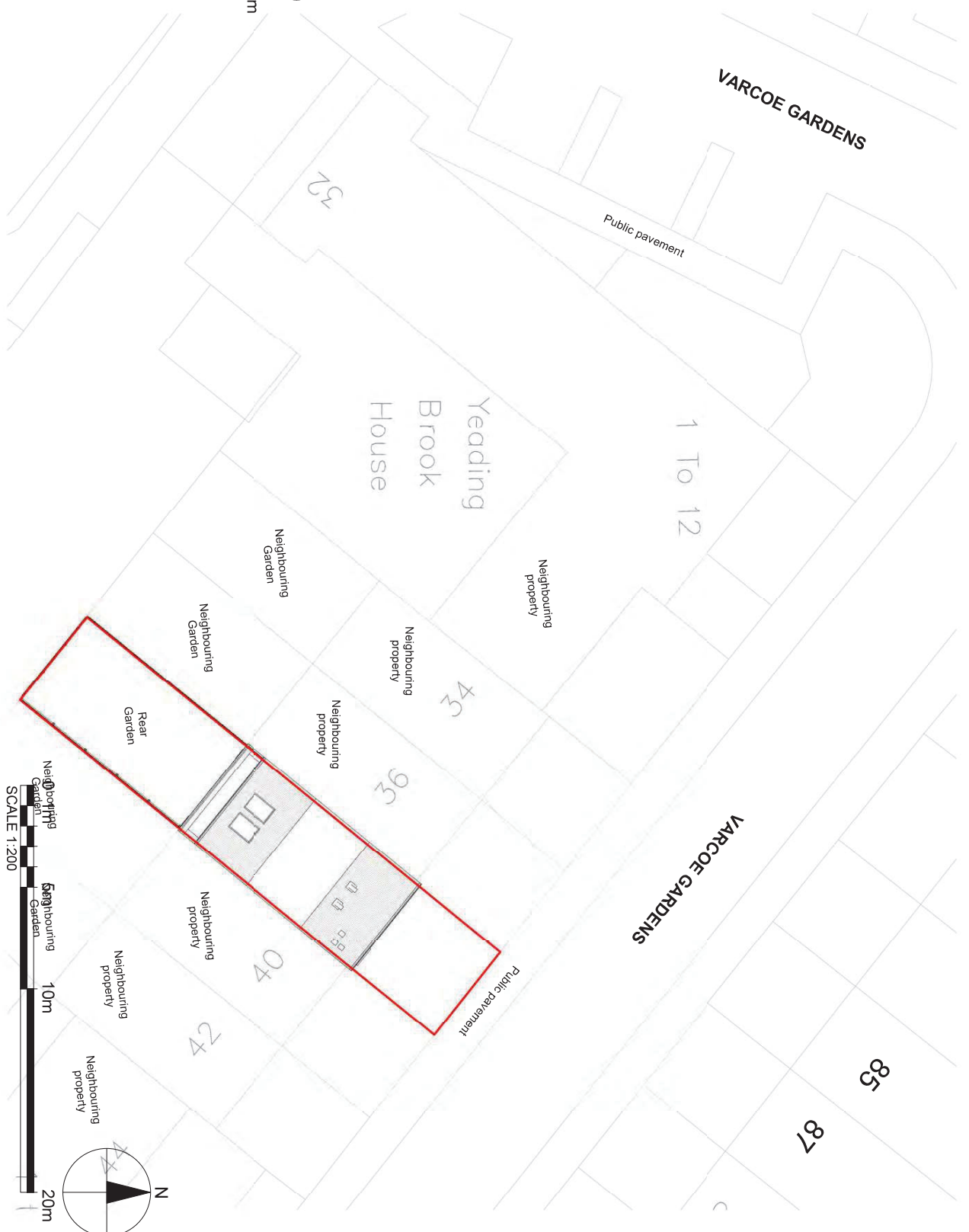
PLANNING SERVICES  
 Unit 9b, The High Cross Centre,  
 Fountayne Rd,  
 N1548E  
 TEL: 020 8862 3481  
 www.planningservices.co.uk



Property Boundary

Property Boundary Area = 135.01 sqm

Internal G.I.A = 126.49 sqm

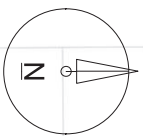
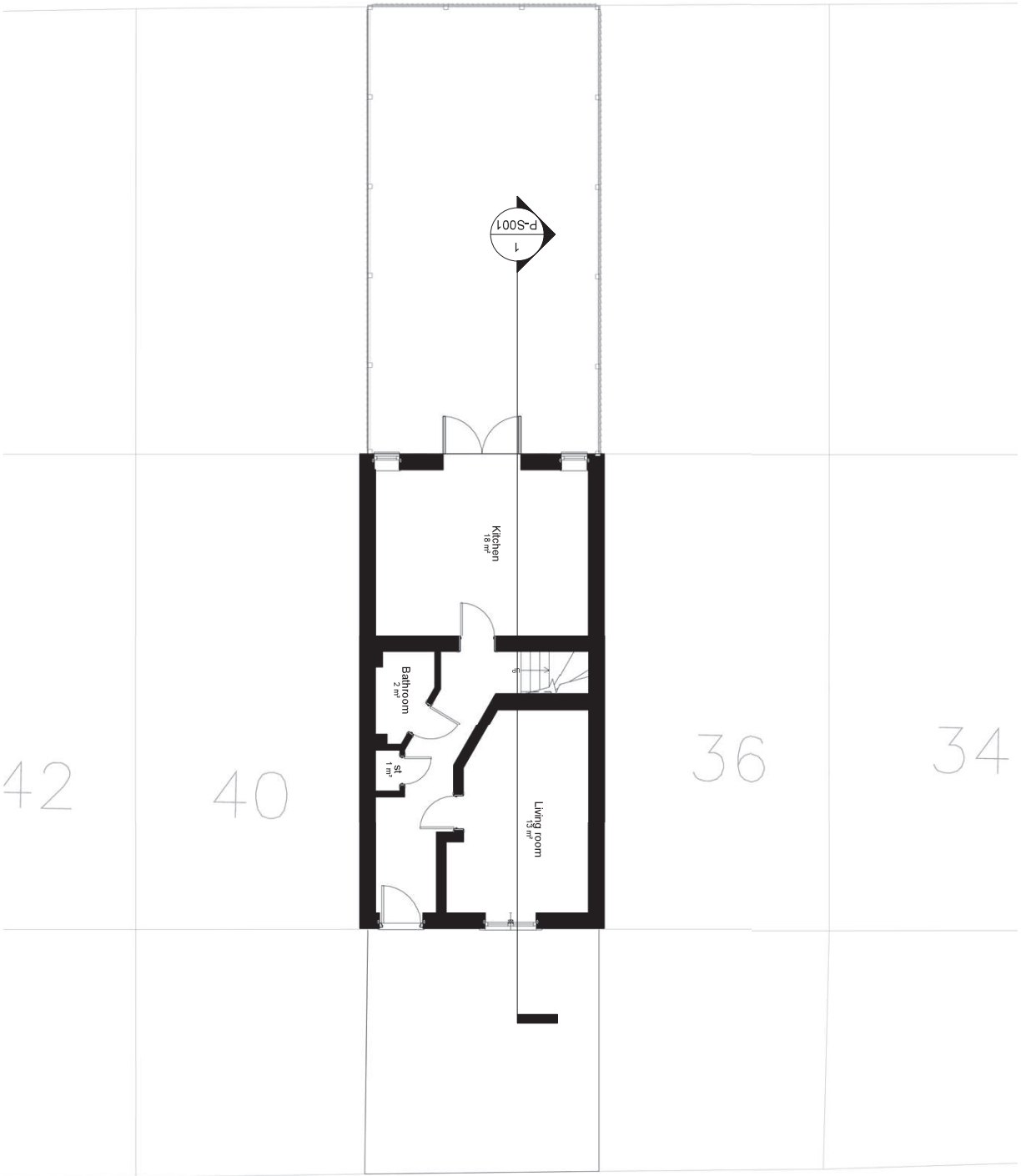


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Project No.'s		DESCRIPTION	BY	CH
REV	DATE			

PROJECT TITLE		DRAWING TITLE	
38 Varcoe Gardens UB3 2FH		Proposed OS Map/ Location Plan	
DATE	Project No.	DRAWING No.	SCALE @ A3
Oct, 2024	8720	P-1001	Drawn by: Aswathy

PLANNING SERVICES  
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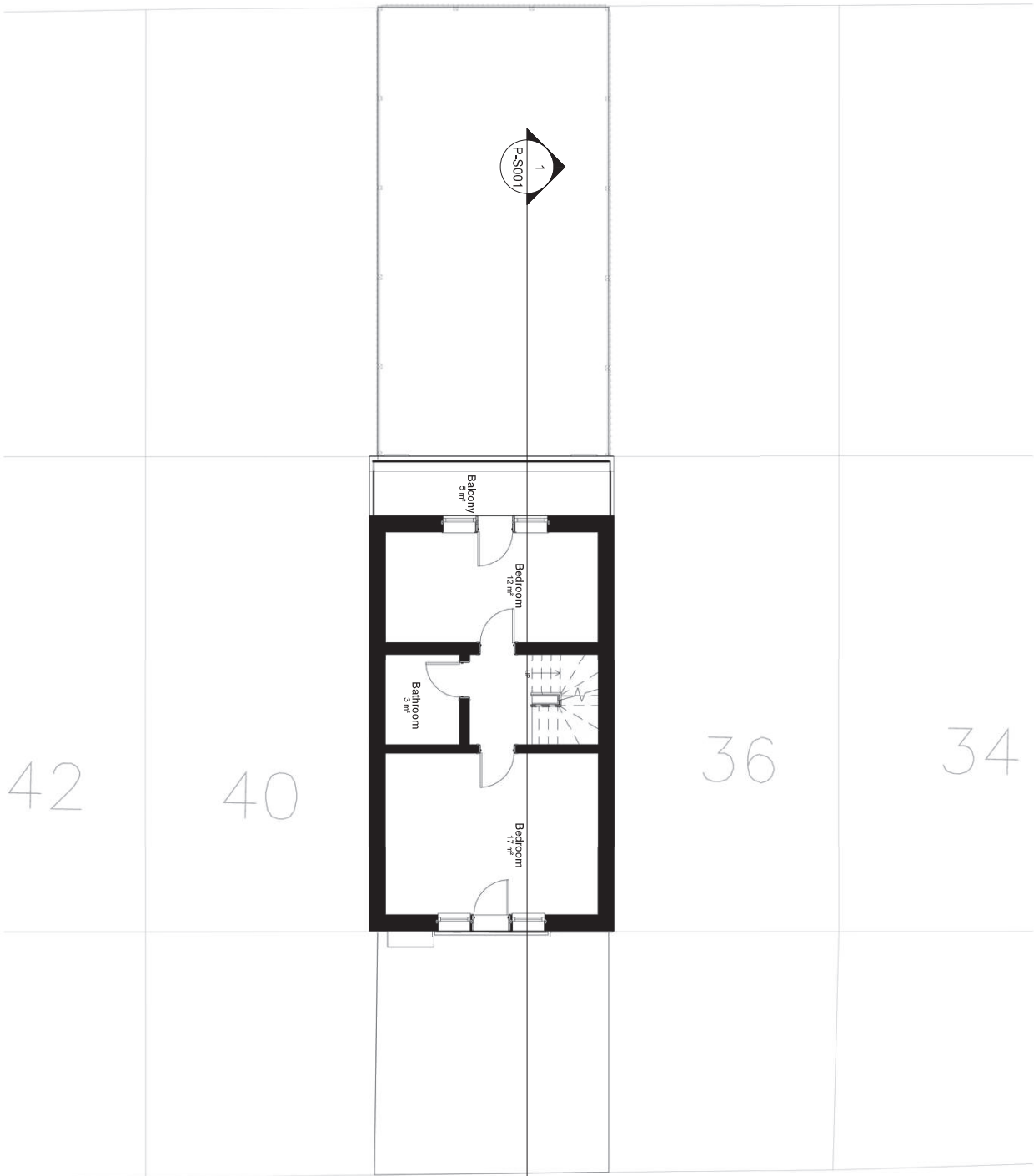
Project No.'s		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE	
DATE	38 Varcoe Gardens UB3 2FH
Oct.2024	Project No. 8720

DRAWING TITLE	
DRAWING No.	Proposed ground floor
P-P001	SCALE @ A3
1 : 100	Drawn by:
	Aswathy

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 Fountayne Rd,  
 N154BE  
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Project No. S		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Proposed First Floor Plan		P-P002	1 : 100	Aswathy

PLANNING SERVICES  
 Unit 9b, The High Cross Centre,  
 Fountayne Rd,  
 N154BE  
 TEL: 020 8862 3481  
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P-S001  
1



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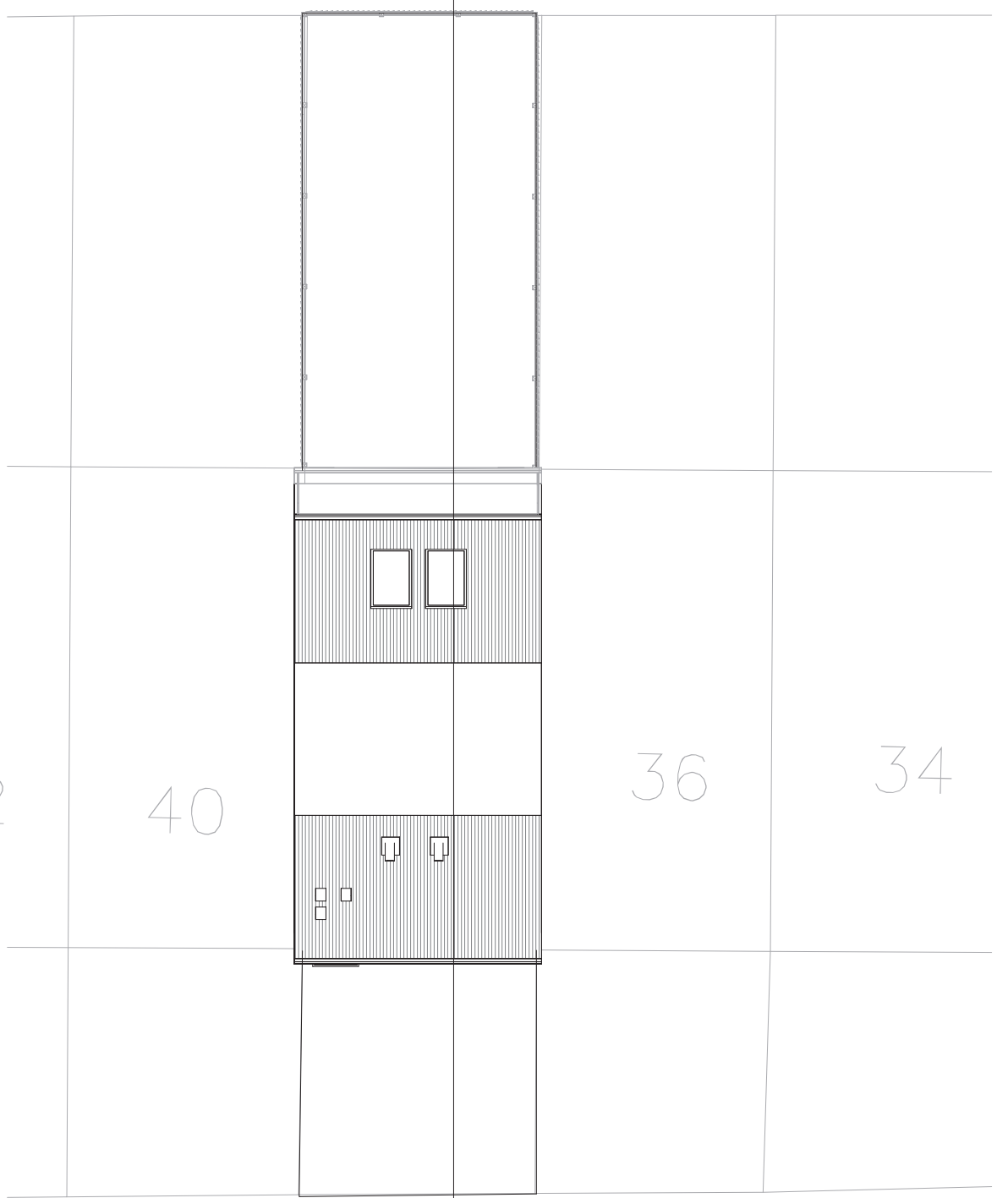
Project No. S		REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Proposed Second Floor Plan		P-P003	1 : 100	Aswathy

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N15 4AE  
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P-5001

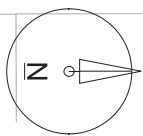


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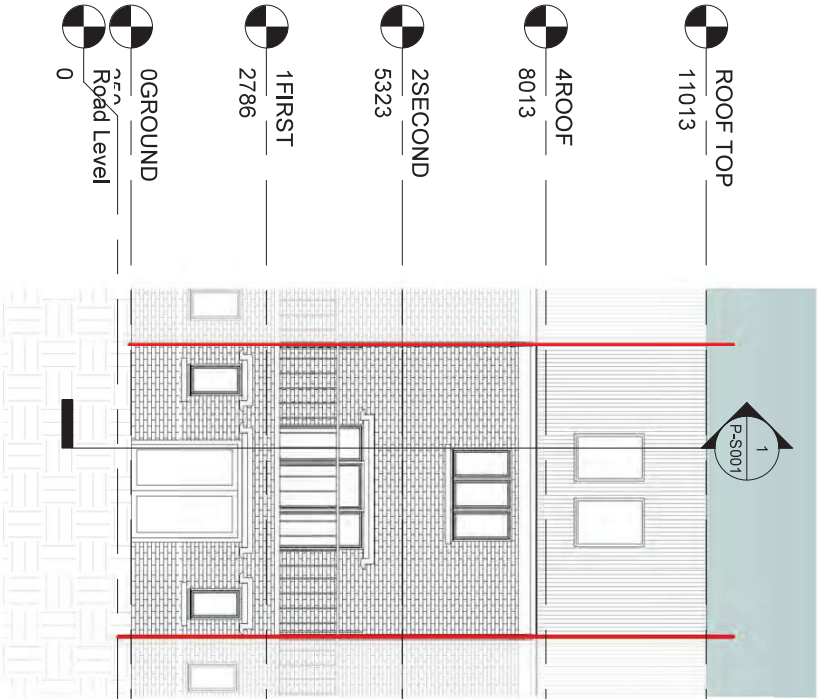
Project No.'s			REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE	
38 Varcoe Gardens UB3 2FH	Project No. 8720
DATE Oct.2024	

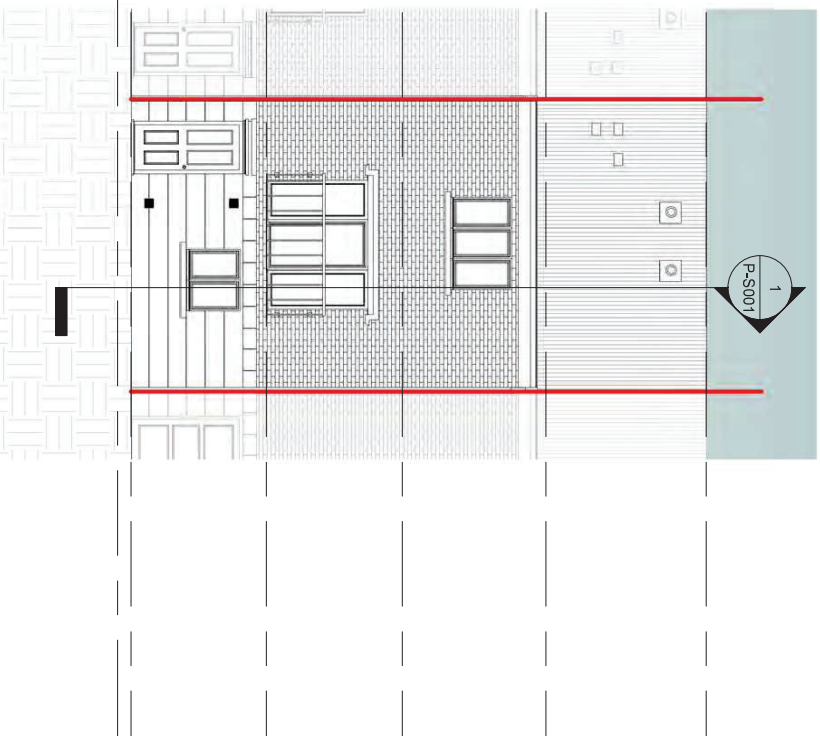
DRAWING TITLE	
Proposed Roof Plan	DRAWING No. P-P004
SCALE @ A3 1 : 100	Drawn by: Aswathy

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 Fountayne Rd,  
 N154BE  
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 www.planning-services.com

1 Rear  
1 : 100



2 Front  
1 : 100



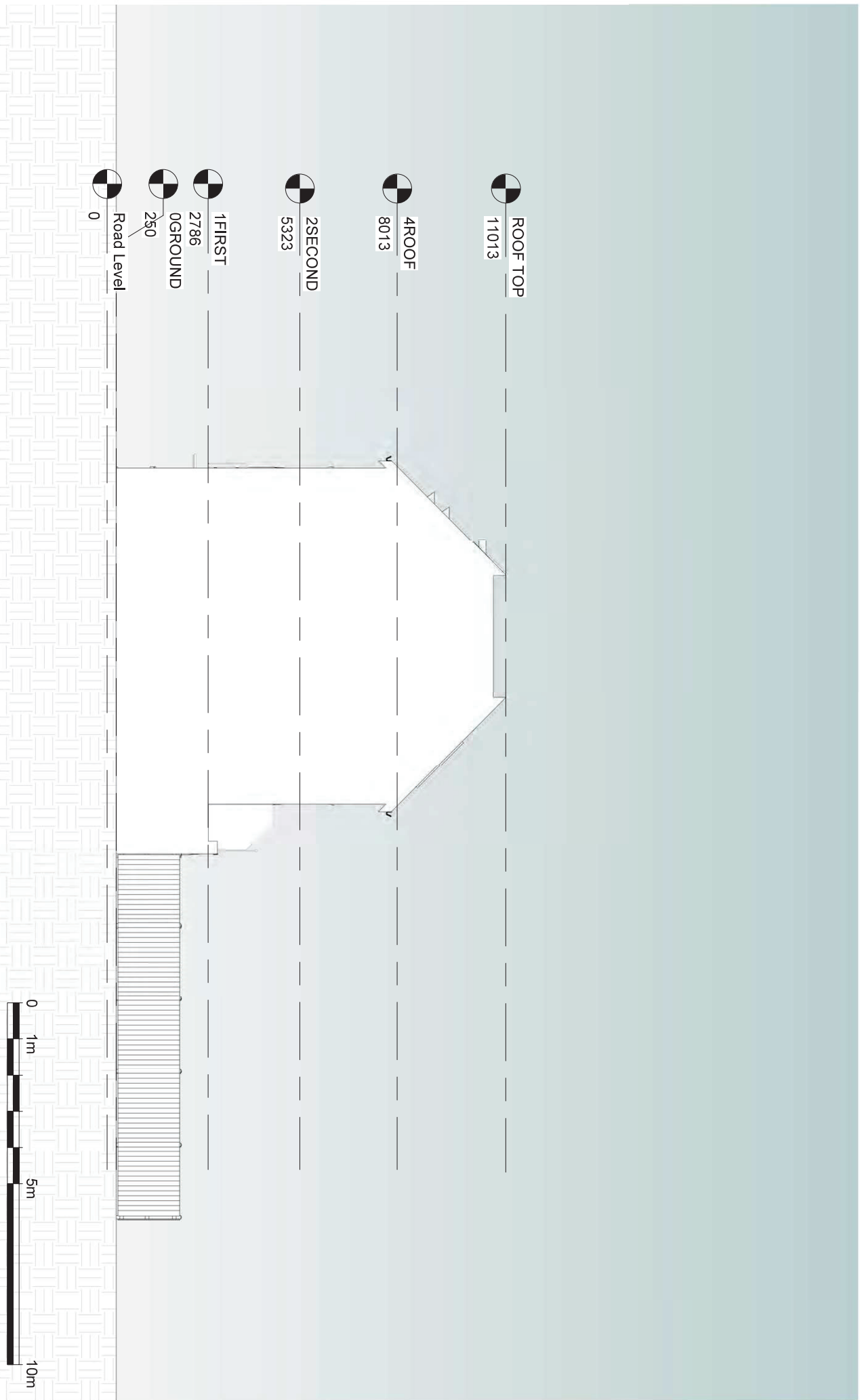
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Project No.'s		REV	DATE	DESCRIPTION	BY	CH

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Proposed Front & Rear Elevations	
<b>DRAWING No.</b>	P-E001	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

PLANNING SERVICES  
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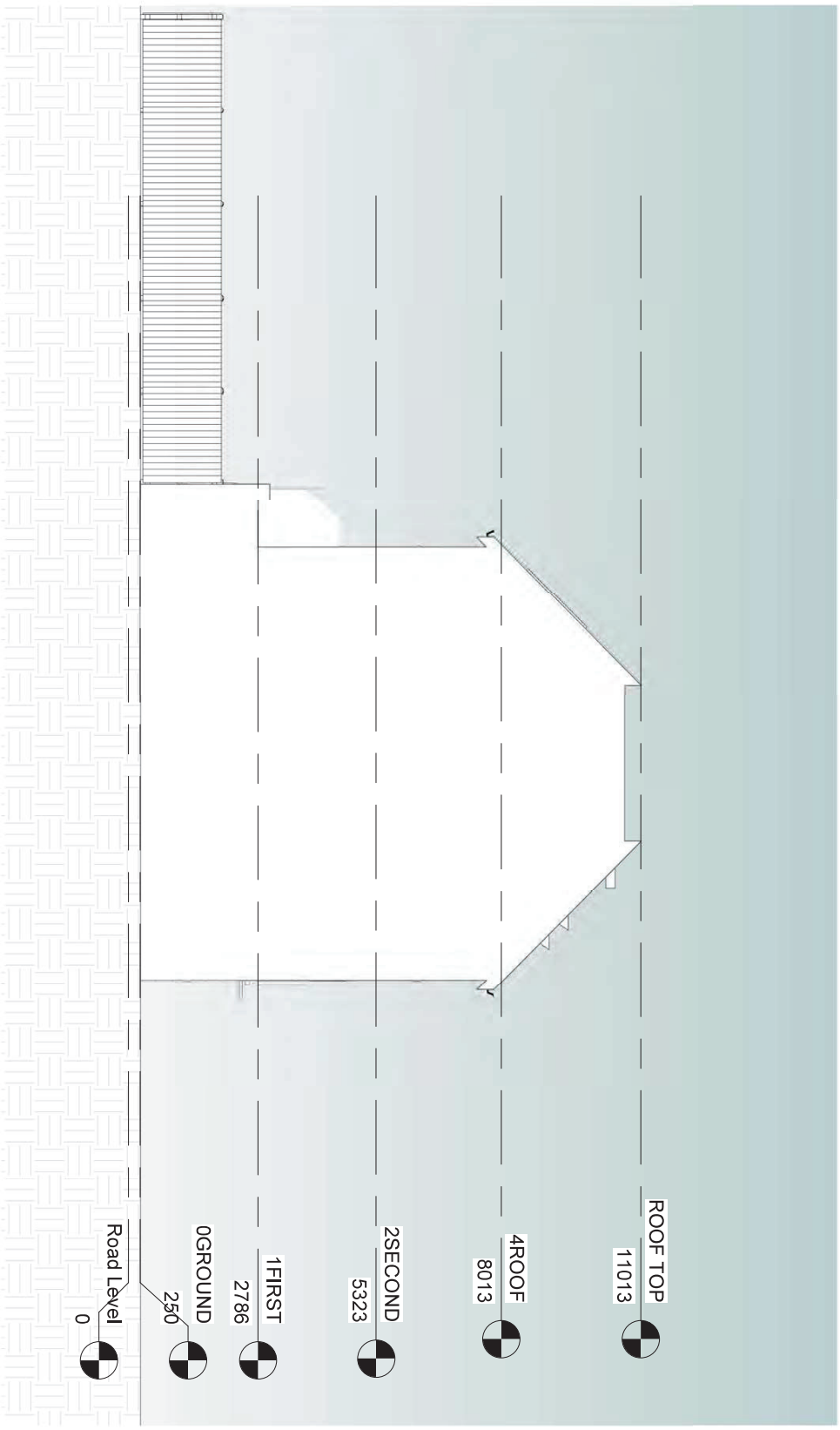
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Project No.'s		DESCRIPTION	BY	CH
REV	DATE			

<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Proposed Side Elevation 1	
<b>DRAWING No.</b>	P-E002	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

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 N154BE  
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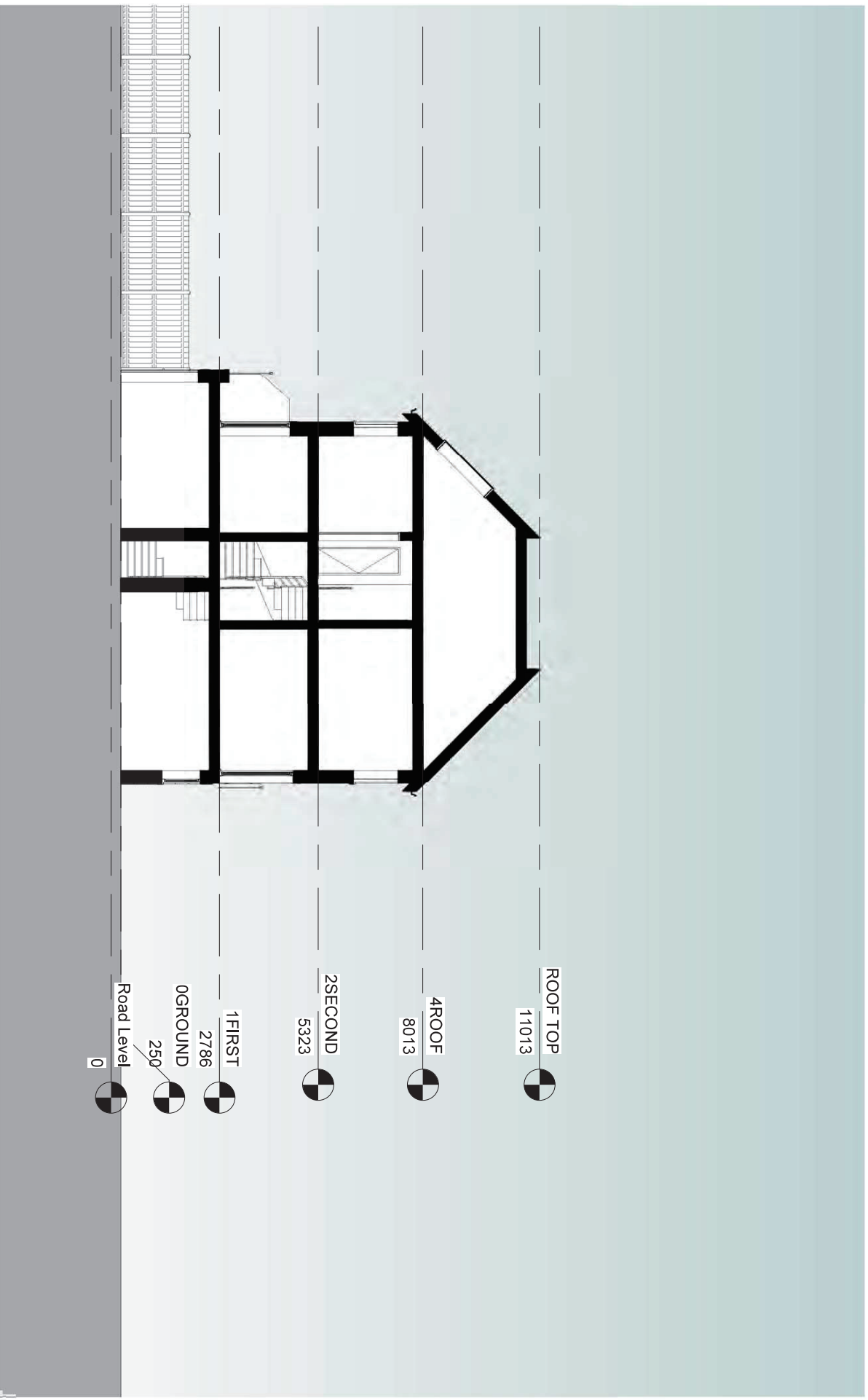
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<b>PROJECT TITLE</b>		38 Varcoe Gardens UB3 2FH	
<b>DATE</b>	Oct.2024	<b>Project No.</b>	8720

<b>DRAWING TITLE</b>		Proposed Side Elevation 2	
<b>DRAWING No.</b>	P-E003	<b>SCALE @ A3</b>	1 : 100
<b>Drawn by:</b>		Aswathy	

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 Fountayne Rd,  
 N15 4BE  
 TEL: 020 8862 3481  
 www.planningservices.co.uk



ROOF TOP  
11013

4ROOF  
8013

2SECOND  
5323

1FIRST  
2786

0GROUND  
250

Road Level  
0



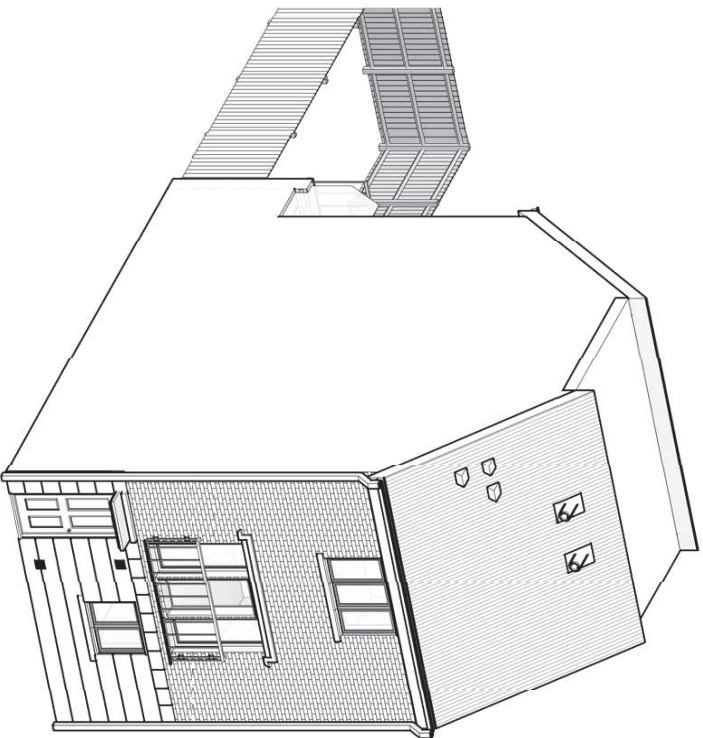
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REV	DATE	DESCRIPTION		

PROJECT TITLE	
DATE	Project No.
Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
38 Varcoe Gardens UB3 2FH		P-S001	1 : 100	Aswathy

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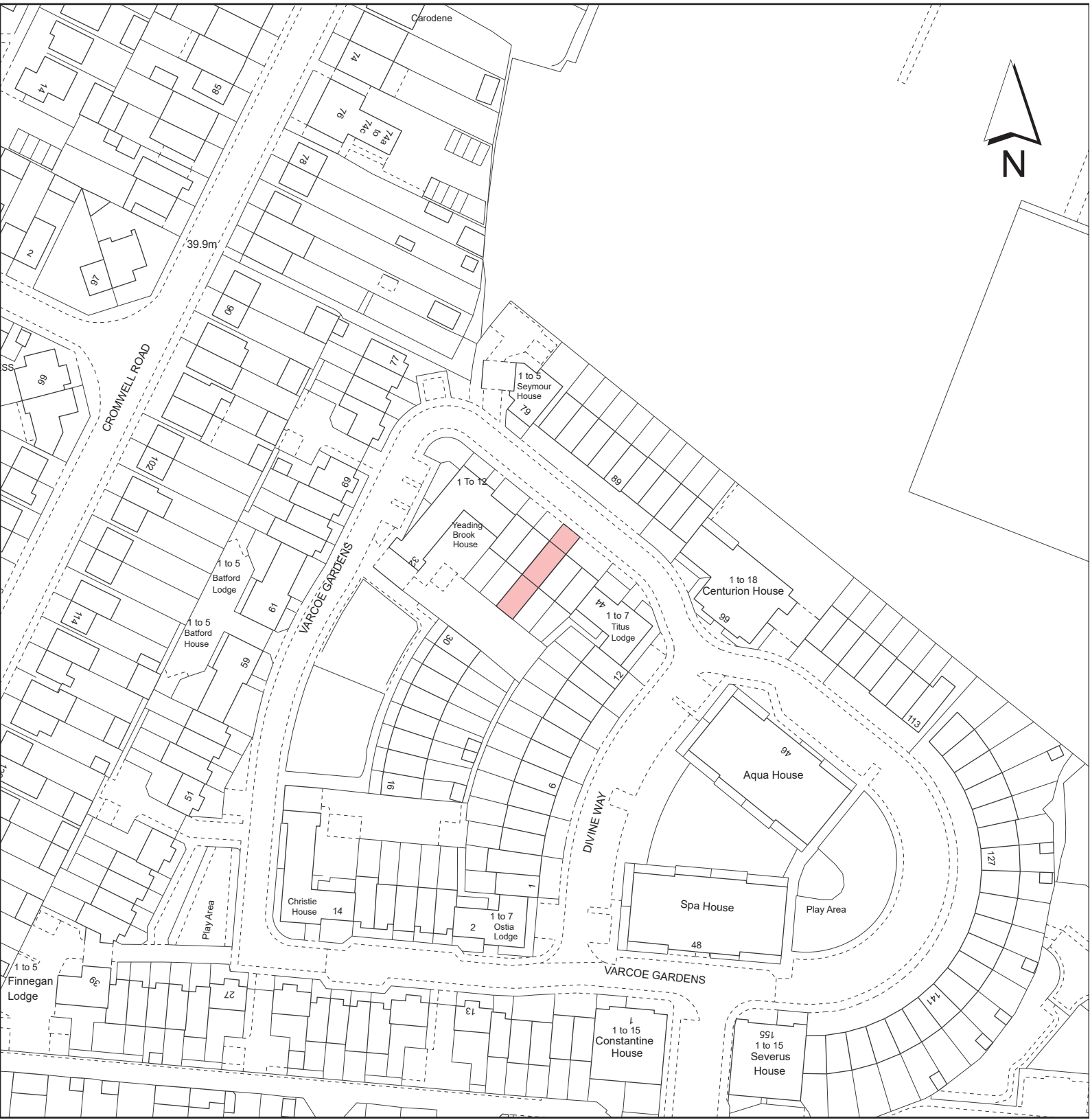
Project No.'s		REV	DATE	DESCRIPTION	BY	CH



PROJECT TITLE		DATE	Project No.
38 Varcoe Gardens UB3 2FH		Oct.2024	8720

DRAWING TITLE		DRAWING No.	SCALE @ A3	Drawn by:
Proposed Perspective View		P-PE001		Aswathy

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 Fountayne Rd,  
 N1548E  
 TEL: 020 8862 3481  
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<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 28 Varcoe Gardens, Hayes		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright <b>© Crown copyright and database rights 2024 Ordnance Survey AC0000810857</b>	<b>PLANNING APPLICATION REFERENCE :</b> 79116/APP/2024/2794	<b>SCALE :</b> 1:1,250	<b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>  <b>HILLINGDON</b> LONDON
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 15/01/2025	

## **Report of the Head of Development Management and Building Control**

**Address:**

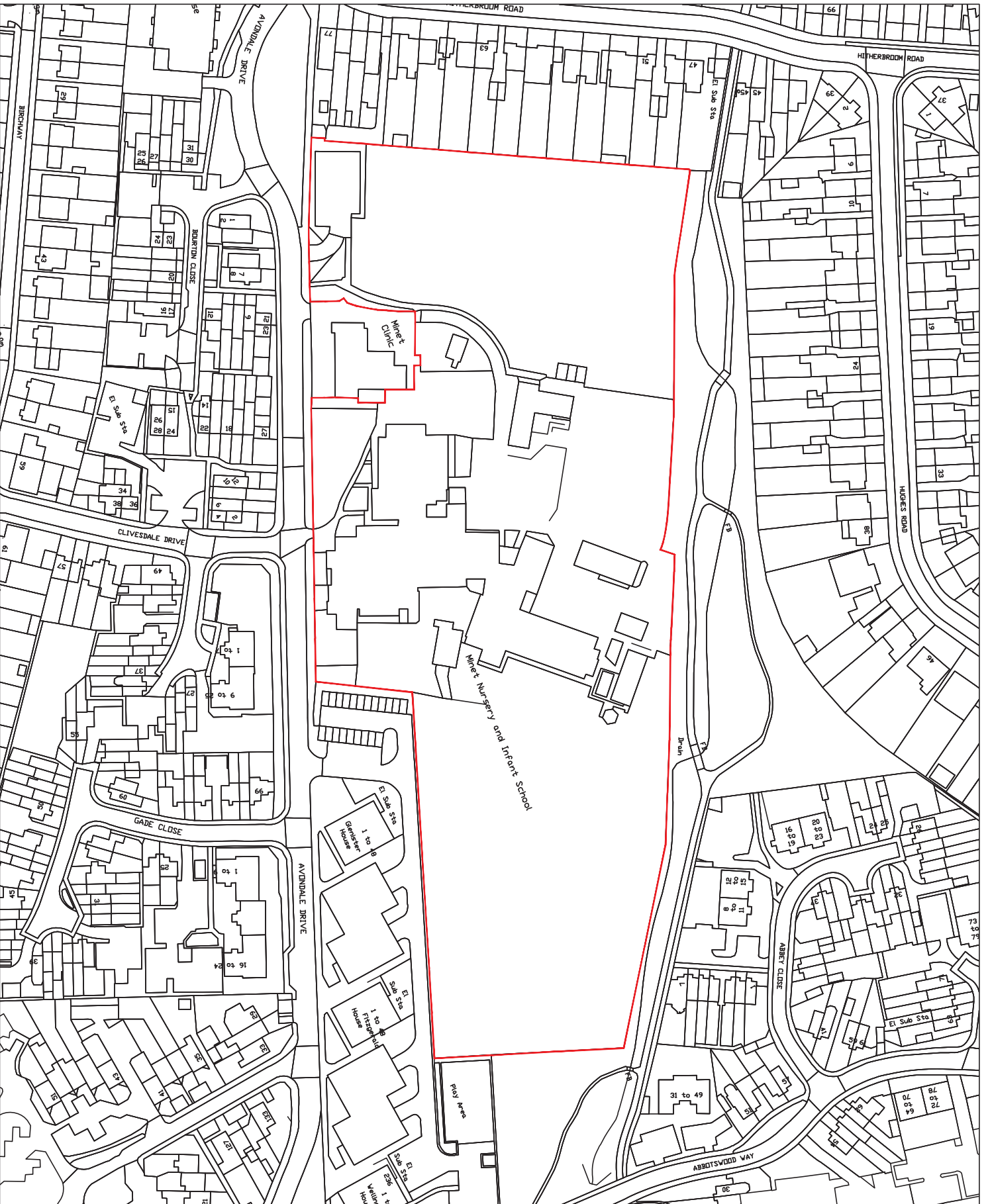
MINET JUNIOR SCHOOL AVONDALE DRIVE HAYES

**Development:**

An application submitted under Section 73 of the Town and Country Planning Act 1990 to vary Condition 2 (Approved Drawings) of planning permission reference 2297/APP/2021/2704, dated 17-09-2021 (Extensions, remodeling and refurbishment of the existing Nursery, Infant and Junior Schools) to make alterations, including changes to hard and soft landscaping, bin storage, and cycle storage (Part Retrospective and Part Proposed)

**LBH Ref Nos:**

2297/APP/2024/2171



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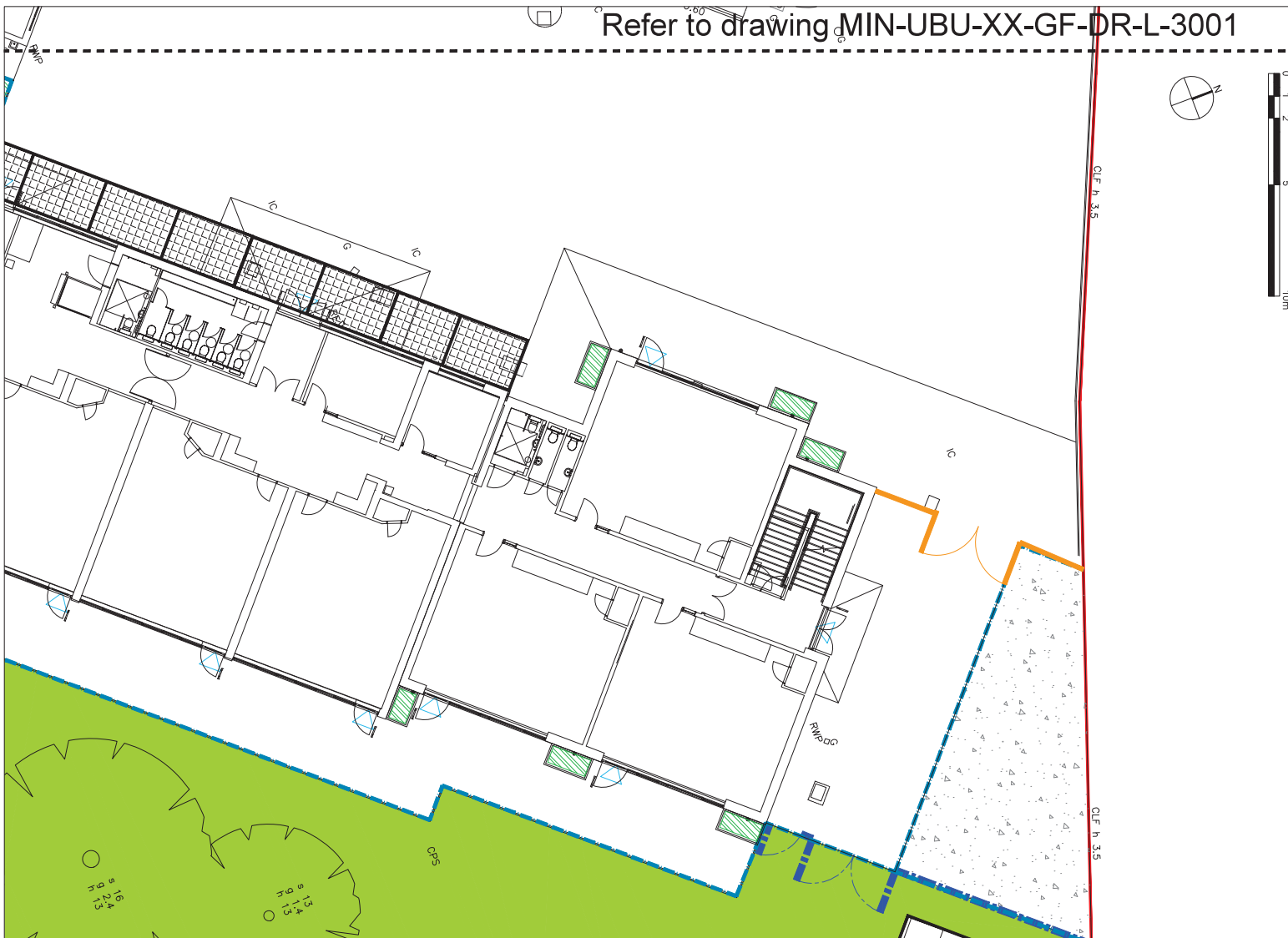
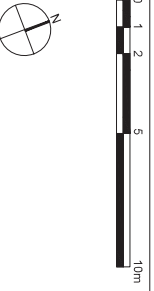


PROJECT	MINNET SCHOOL
TITLE	LOCATION PLAN
CLIENT	MORGAN SINDALL
SCALE	1:1250@A3
JOB NO.	1800
DATE	09/03/2021
DWG NO.	MIN-UBUXX-SF-DRL-0001
REV.	P01

UBU Design LTD  
 7a Willetts House, Easton Lane,  
 Wiltshire Park, Easton Lane,  
 Wiltshire, Hants, SO23 7RD  
 +44 (0) 1862 559 008  
 studio@ubu-design.co.uk  
 www.ubu-design.co.uk

DATE	09/03/2021
SCALE	1:1250@A3
JOB NO.	1800
DWG NO.	MIN-UBUXX-SF-DRL-0001
REV.	P01





Stock	Quantity	Item	Size	Height (mm)	Notes	Drawings
Trees	3	Acacia corymbosa	30-42 cm	300-350	3x standard (reduced standard) Over stem 175-200	QB
	2	Tilia cordata	10-12 cm	300-350	3x standard (reduced standard) Over stem 175-200	QB
	9	Tilia cordata	10-12 cm	300-350	3x standard (reduced standard) Over stem 175-200	QB
Shrubs	17	Berberis buxifolia 'Aureo-nana'	3L	15-20	Bercland min. 3 trunks	2, 3, 4, 2
	3K	Cornus sanguinea 'M White Fire'	3L	15-20	Bercland min. 3 trunks	2, 3, 4, 2
	14	Hedera helix	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	14	Hedera helix	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	14	Hedera helix	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	11	Hydrangea macrophylla 'Garden of Eatin'	3L	30-40	Bercland min. 3 trunks	2, 3, 4, 2
	5	Lonicera xylosteum 'Hidcote'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	17	Polka with flowers 'Landscape'	3L	30-40	Bercland min. 3 trunks	2, 3, 4, 2
	5	Eucalyptus Emerald Galaxy	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	24	Rosa rugosa 'Eden's Promise'	3L	30-40	Bercland min. 3 trunks	2, 3, 4, 2
	16	Sorbus domestica 'Aurea'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	16	Sorbus domestica 'Aurea'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	16	Sorbus domestica 'Aurea'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	16	Sorbus domestica 'Aurea'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	2K	Yucca filamentosa 'Lanceolata'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
	20	Yucca filamentosa 'Lanceolata'	3L	20-30	Bercland min. 3 trunks	2, 3, 4, 2
Grasses	9	Hieracium ramosissimum 'Naked'	3L			2, 3, 4, 2
	13	Stipa baltica	3L			2, 3, 4, 2
	22	Stipa baltica	3L			2, 3, 4, 2
Herbaceous	14	Geopelia sibirica	3L			2, 3, 4, 2
	21	Geranium 'Sibiricum Blue'	3L			2, 3, 4, 2
	12	Hebe 'Nana'	3L			2, 3, 4, 2
	3K	Polystichum adpressum	3L			2, 3, 4, 2
	7	Stachys 'Yanaka'	3L			2, 3, 4, 2
	10	Stachys 'Yanaka'	3L			2, 3, 4, 2
Height Planting	246	Elm 'Grays Green'	10L	125-150cm		2, 3, 4, 2
	315	Elm 'Grays Green'	10L	125-150cm		2, 3, 4, 2
	315	Elm 'Grays Green'	10L	125-150cm		2, 3, 4, 2
Plant out/Planting	3K	Geopelia sibirica	3L			2, 3, 4, 2
	5K	Dracopis 'Sibirica'	3L			2, 3, 4, 2
	5K	Carex 'Machadoi'	3L			2, 3, 4, 2
	10	Carex 'Machadoi'	3L			2, 3, 4, 2
Seeding		Seeds/seed mix in bags as indicated in recommendations mainly grass seedling with Eucalyptus EG22 - Strong grass mixture as equivalent at 25gms per m <sup>2</sup>				2, 3, 4, 2
Stealing to spare plants		Seeds/seed mix in bags as indicated in recommendations				2, 3, 4, 2
Cambers	9	Hedera helix	TL			2, 3, 4, 2
	9	Lonicera xylosteum	TL			2, 3, 4, 2

**Key**

- Site boundary
- Existing trees to be retained and protected in accordance with BS5857 and AIA
- Existing tree/vegetation to be removed
- Proposed trees - refer to schedule for details
- Planting bed - refer to schedule and as Q31
- Proposed hedge - refer to schedule and as Q31
- Amenity grass seeding lawn grass mixture or equivalent at 25g/m<sup>2</sup> as Q30 to be retained
- Existing planting to be retained
- Beik mat/s surface to growing area. Land cover membrane as Q28
- Temporary permeable resin bound chipped rubber surfacing laid around existing trees
- Sports pitch seeding to be undertaken by specialist contractor. Note: Indicate pitch positions to Sport England size requirements. No line markings to be provided as part of the works

**Project Information**

PROJECT: MINET SCHOOL  
 TITLE: PLANTING PLAN - 5 OF 5

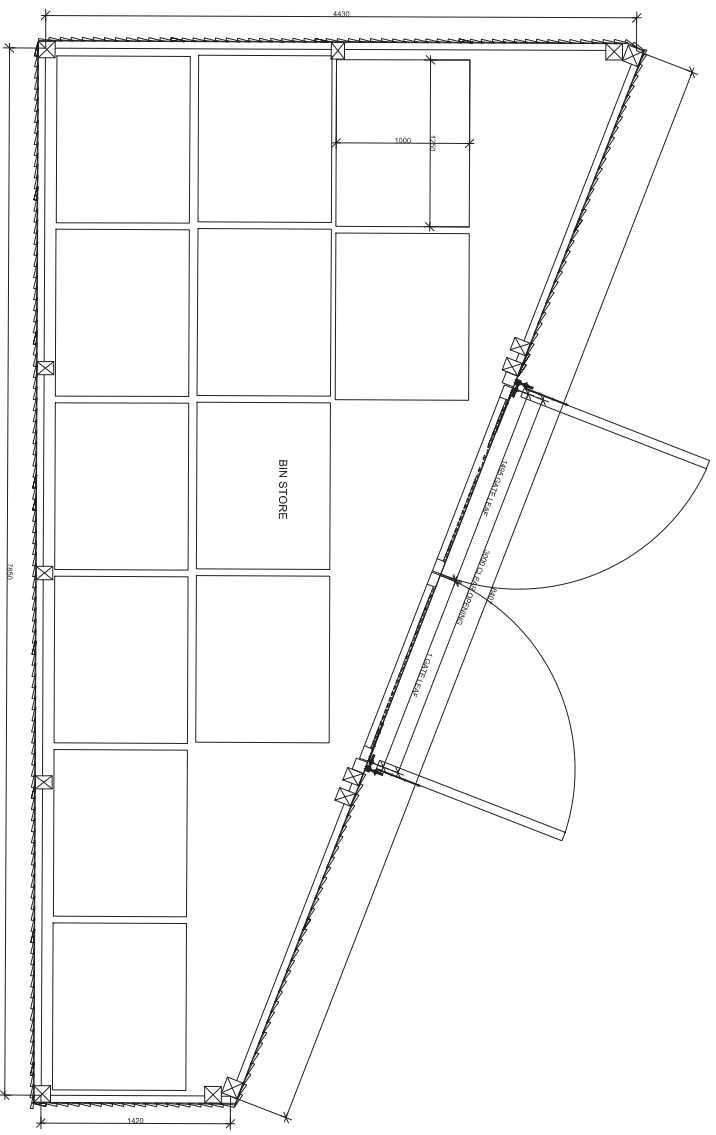
**Client:** MORGAN SMIDALL  
 SCALE: 1:100 @ A1  
 DATE: 18/11/2021

**Drawn by:** MIN-UBU-XX-GF-DR-L-3004  
 STATUS: CR

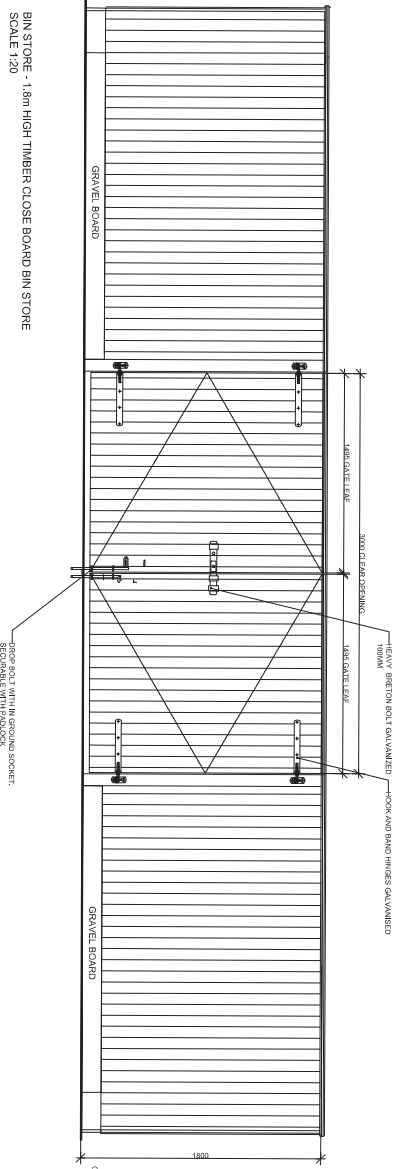
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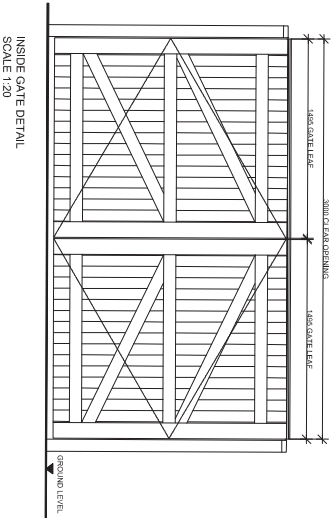




PLAN VIEW, CAPPING STRIP REMOVED FOR CLARITY  
SCALE: 1:20

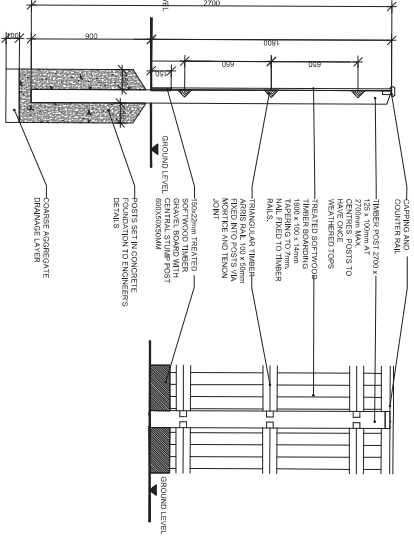


BIN STORE - 1.8m HIGH TIMBER CLOSE BOARD BIN STORE  
SCALE: 1:20



INSIDE GATE DETAIL  
SCALE: 1:20

NOTES:  
BIN STORE SURROUNDING CLOSE BOARD TIMBER FENCING, 1.8M HIGH WITH MATCHING GATES SUPPLIED BY JACKSON'S FENCING OR EQUIVALENT. TIMBER TO BE SPLITWOOD WITH JACKSON'S FINISH OR FINISH OF YOUR CHOICE. ALL FITTINGS TO GATES TO BE GALVANIZED STEEL.  
DRAWING BY: [Name]



1.8m HIGH TIMBER CLOSE BOARD FENCE DETAIL  
SCALE: 1:20

INTERNAL VIEW

PROJECT	MINNET SCHOOL
TITLE	BIN STORE DETAILS
CLIENT	MORGAN SMIDALL
SCALE	1:20@A1
DATE	30/01/2024
PROJECT NO.	1800
PROJECT FILE NO.	MIN-UBU-XX-CF-DR4-2008
STATUS	PD
REV.	002

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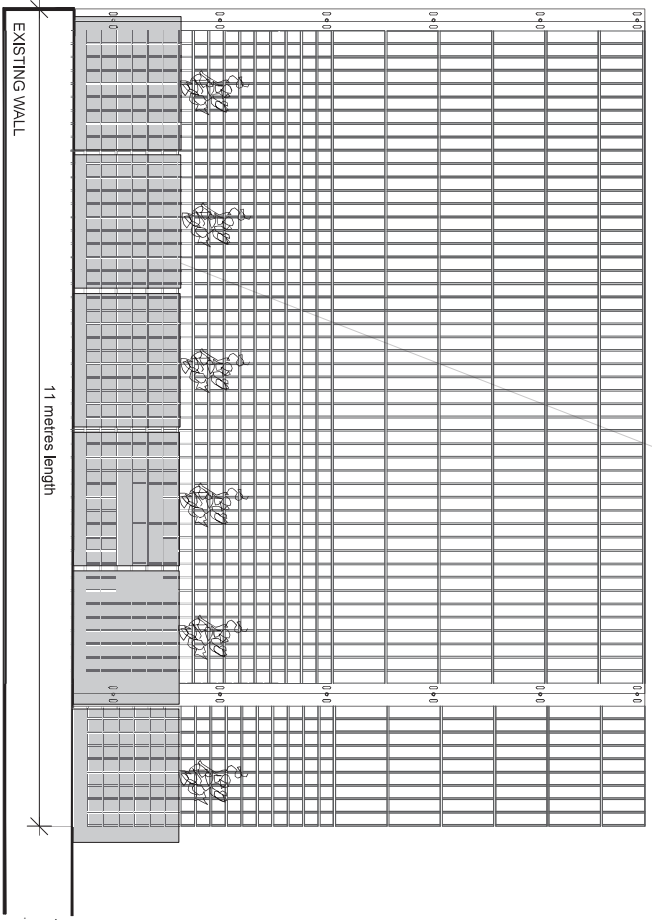
PLAN VIEW - NOT TO SCALE - SITTING REFERENCE ONLY

Proposed Trough Planters : Railing planter in Dark Grey, 40cm Height, 50cm width, 20cm depth, Suggested supplier: Wayfair - Large Trough Planter, Frostproof Outdoor Plant Pot, Long Garden Planter with Drainage Holes, Concrete Effect Rectangular Plant Pot <https://www.wayfair.co.uk/garden/pqphorico-large-trough-planter-frostproof-outdoor-plant-pot-long-garden-planter-with-drainage-holes-concrete-effect-rectangular-plant-pot>

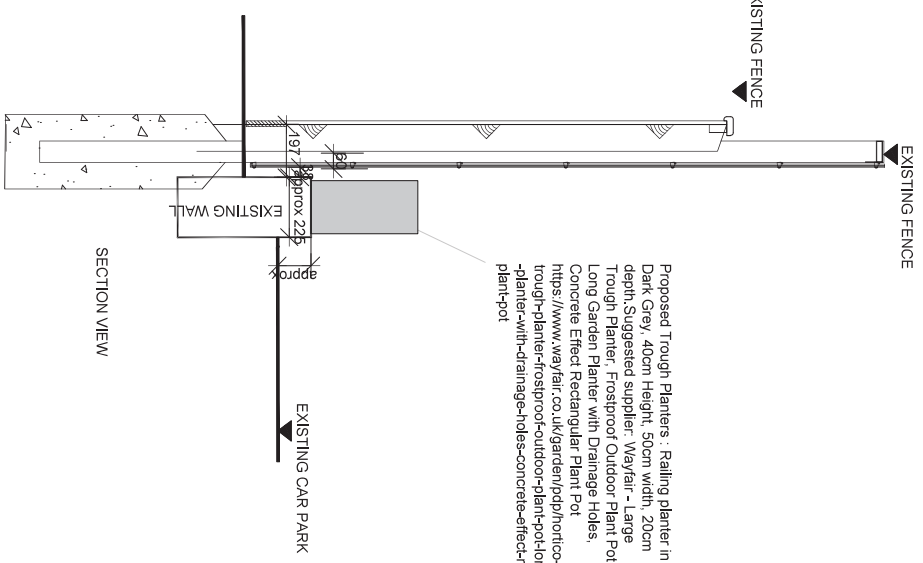
Each planter to have drainage holes, and be filled with a 5cm base of free draining gravel substrate, then fill with suitable compost mix of good quality British Standard peat free compost, and FSC biochar or water retention granules to aid water retention - use according to manufacturers instructions, finish compost 10 cm below top of trough and add 5 cm small graded bark mulch for water retention.

Each trough to be planted with alternate Hedera helix and Lonicera periclymenum - 1 x 1 litre pot per trough.

- these must be checked for soil moisture content weekly for for initial period and watered until established, then watered weekly spring through summer, more frequently if periods of no rain fall - minimum weekly through summer and dry periods. Hedera/ivy pruning can be at most times of year to stimulate new growth and retain good shape. Lonicera to be pruned after flowering, late summer. Do not prune in frosts or during drought periods. Top up compost and mulch annually.



ELEVATION VIEW EXAMPLE



SECTION VIEW

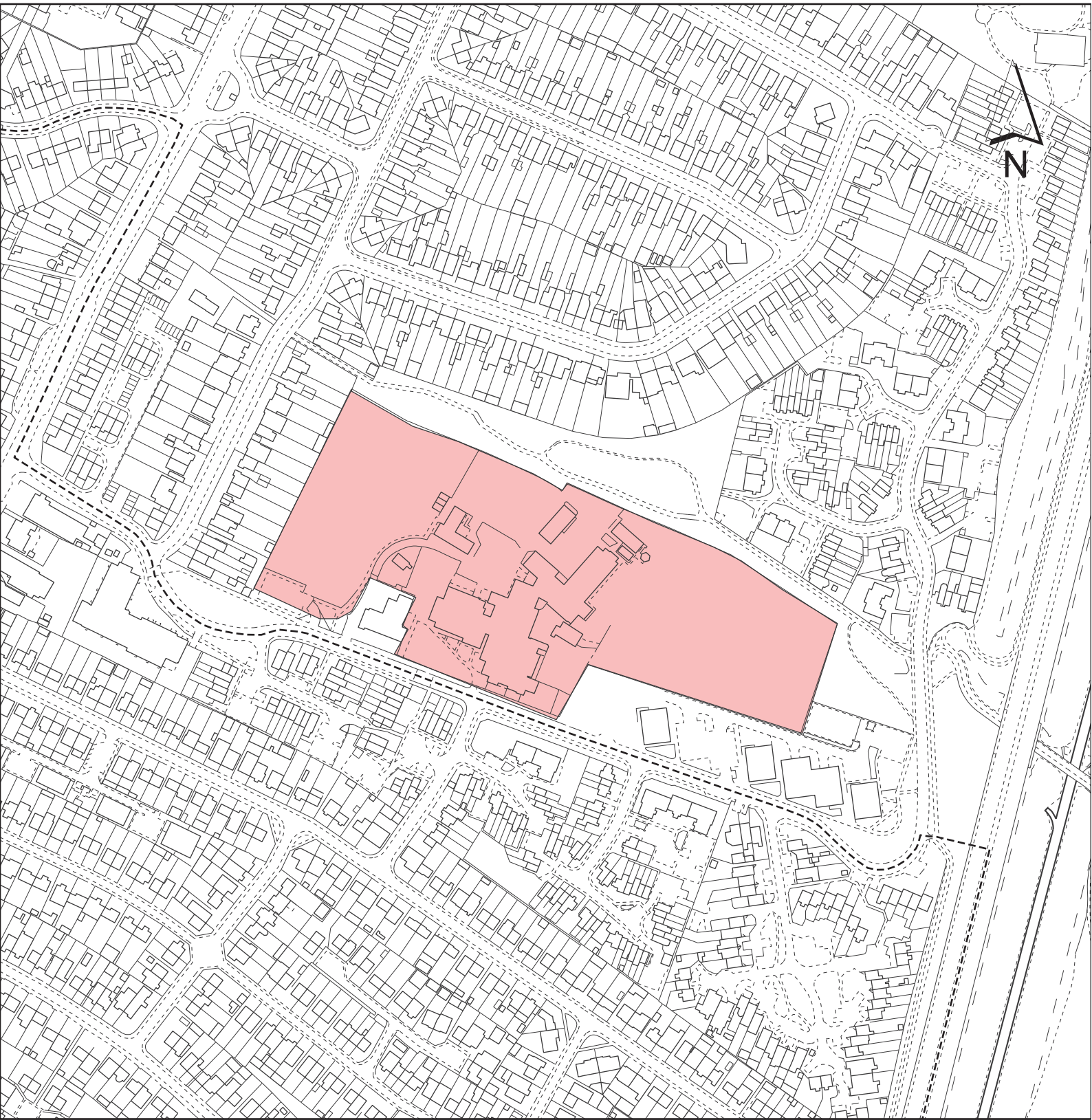
Proposed Trough Planters : Railing planter in Dark Grey, 40cm Height, 50cm width, 20cm depth, Suggested supplier: Wayfair - Large Trough Planter, Frostproof Outdoor Plant Pot, Long Garden Planter with Drainage Holes, Concrete Effect Rectangular Plant Pot <https://www.wayfair.co.uk/garden/pqphorico-large-trough-planter-frostproof-outdoor-plant-pot-long-garden-planter-with-drainage-holes-concrete-effect-rectangular-plant-pot>



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PROJECT: MINET SCHOOL  
TITLE: PLANTER FENCE DETAILS  
CLIENT: MORGAN SMIDALL  
SCALE: 1:10@A1  
DATE: 30/01/2024  
DRAWING NO: 1800  
MIN-UBU-XXCF-DR4-2009  
STATUS: CR  
REV: 002

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DATE: 30/01/2024  
SCALE: 1:10@A1  
DRAWING NO: 1800  
STATUS: CR  
REV: 002



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> Minet Junior School, Avondale Drive, Hayes		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b> <b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright <b>© Crown copyright and database rights 2024 Ordnance Survey AC0000810857</b>	<b>PLANNING APPLICATION REFERENCE :</b> 2297/APP/2024/2171	<b>SCALE :</b> 1:1,250	
<b>PLANNING COMMITTEE :</b>		<b>DATE :</b> 15/01/2025	 <b>HILLINGDON</b> LONDON