

# Hillingdon Planning Committee

Wednesday 12th March 2025



**HILLINGDON**  
LONDON

[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)

**Report of the Head of Development Management and Building Control**

**Address:** 13 OAK AVENUE, WEST DRAYTON

**Development:** Erection of a two storey, 2-bed attached dwelling with associated cycle storage and amenity space

**LBH Ref Nos:** 77097/APP/2024/2693

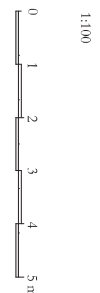
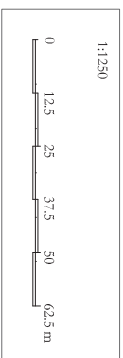


**Location Plan 1**

**SitePlan**

1:1250

- Wall Legend**
-  Existing Wall
  -  Proposed Wall
  -  Demolition Walls



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9. ALL WORK TO BE UNDER TAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS, AND ENVIRONMENTAL ASSESSMENT RECORD.
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Rev	Date	Description
1	30/08/20	Change
2	13/07/20	
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Site Address:  
**13 Oak Ave West Drayton UB7 9EP**

Drawing Title:  
**Location Plan**

Status:  
**Plans Existing**

Client:  
**OSN Group**

Project No:  
**1036**

Date:  
**30/01/2025**

Drawing No:  
**1031-01\_Rev01**

Drawn By:  
**SY**

Rev:  
**02**



**SY Design Studio**



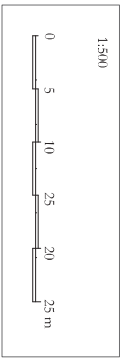
4 Existing Block Plan 1:500



5 Proposed Block Plan 1:500

**Areas**

- Existing Site Area - 432.6Sqm
- Proposed Site Area of new development - 262Sqm
- New Development GIA - 98.35sqm 2 bed / 3 person
- New Development 2 bed requirement is 61 Sqm



Site Address: 13 Oak Ave West Drayton UB7 9EP

Drawing Title: Block Plan

Status: Plans Existing

Client: OSN Group  
 Date: 30/01/2025  
 Project No: 1031-02\_Rev01  
 Drawing No: 02

Scale: 1:1250, 1:500@A3 1036  
 Project No: 1031-02\_Rev01  
 Drawing No: 02

Scale: 1:1250, 1:500@A3 1036

Client: OSN Group  
 Date: 30/01/2025  
 Project No: 1031-02\_Rev01  
 Drawing No: 02

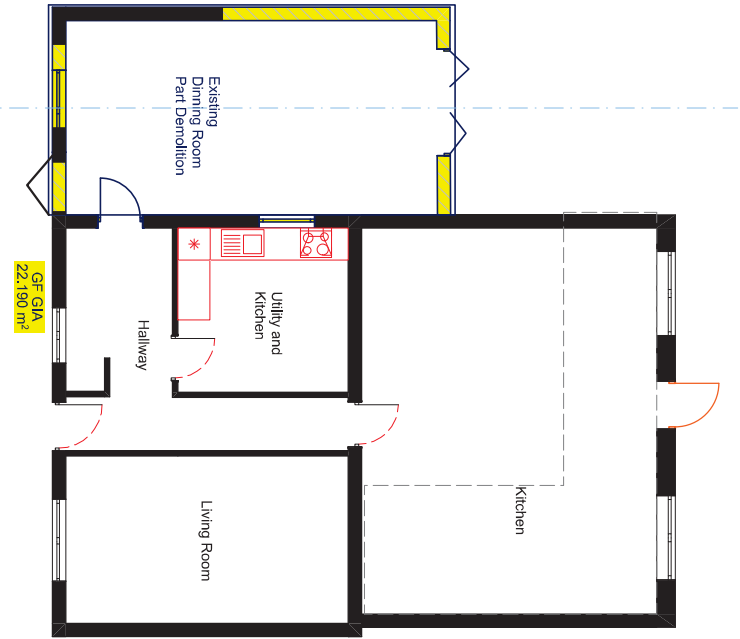
Scale: 1:1250, 1:500@A3 1036



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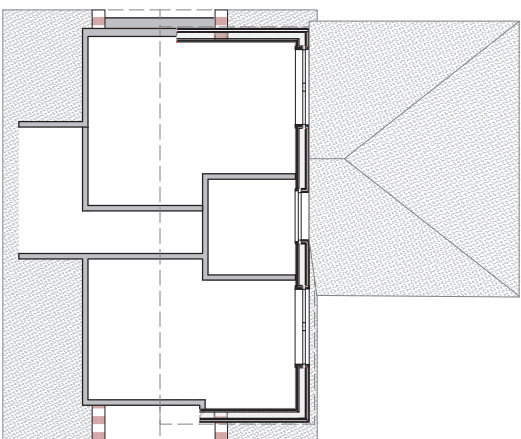
Rev	Date	Description
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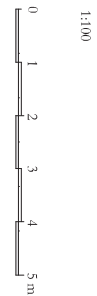
2 GF-Ground Floor 1:100



3 01-First Floor 1:100



4 RF-Roof 1:100



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Rev	Date	Description
3	30/01/20	Change
1	30/09/20	Change

Site Address:  
13 Oak Ave West Drayton UB7 9EP

Drawing Title:  
0. GF-Existing Floor Plans

Status:  
Plans Existing

Client:  
OSN Group

Scale:  
1:100@A3

Date:  
30/01/2025

Project No:  
1036

Drawn By:  
SY

Drawing No:  
1031-05

Rev:  
03



**SY Design Studio**

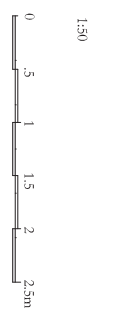


1  
-  
Proposed Site-Ground Floor (1)  
1:200

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0	30/08/20	Change
1	30/08/20	Change
2	30/08/20	Change
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6	30/08/20	Change
7	30/08/20	Change
8	30/08/20	Change
9	30/08/20	Change
10	30/08/20	Change

Site Address:  
 13 Oak Ave West Drayton UB7 9EP  
 Drawing Title:  
 Proposed Site Plan  
 Status:  
 Plans Proposed  
 Scale:  
 1:200@A3  
 Client:  
 OSN Group  
 Project No:  
 1036  
 Date:  
 30/01/2025  
 Drawing No:  
 1031-1\_Rev05  
 Rev:  
 06

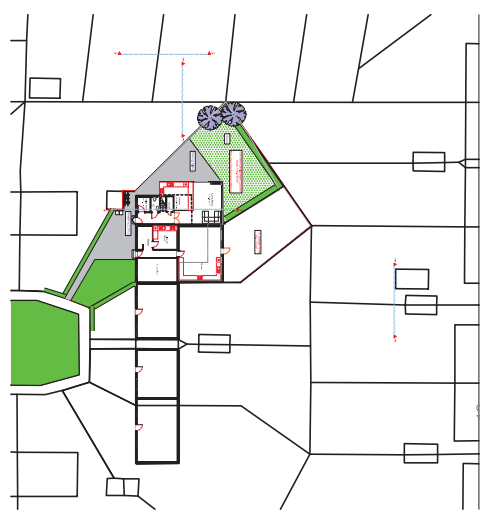


Actual Image	On Drawing	Description
		Cherry Tree (Bing)
		Grass: Rolawn Luxury Turf
		Wheelle Bin (Separate for recyclable and non-recyclable waste)
		Sheffield secure cycle stand
		Permeable Paving Brett Alpha Flow Charcoal
		Patio Slabs
		EV Charging Point





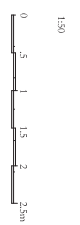
1 - Gf-Ground Floor  
1:50



3 - Proposed Site-Ground Floor (1)  
1:500



2 - Gf-Existing Ground Floor  
1:100



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  8. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Check
7	25/03/2020	Change		
8	24/03/2020	Change		
9	23/03/2020	Change		
9	23/03/2020	Change		

Site Address: 13 Oak Ave West Drayton UB7 9EP

Drawing Title: Proposed Ground Floor Plan

Status: Plans Proposed

Scale: 1:50, 1:100, 1:500@A2

Client: OSN Group

Project No: 1038

Date: 30/01/2025

Drawn By: SY

Rev: 06

Drawing No: 1031-12\_Rev05

Tel: 07959431227  
 Email: sales@sydesignstudio.co.uk  
 Web: www.sydesignstudio.co.uk

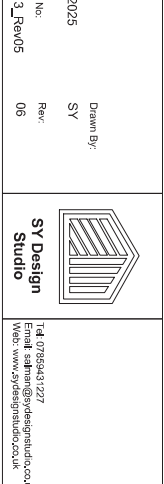
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0	30/08/20			
1	25/09/20	Change	Chd	SJW/20
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3	23/09/20	Change	Chd	23/09/20
4	23/09/20	Change	Chd	23/09/20

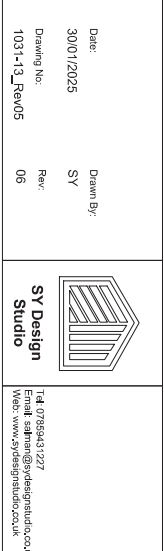
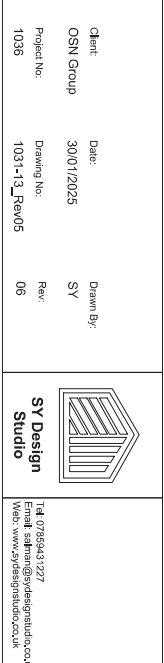
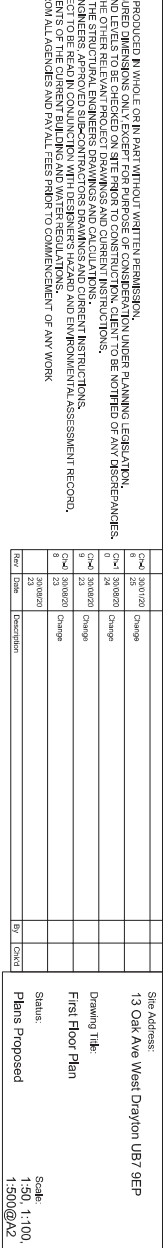
Site Address: 13 Oak Ave West Drayton UB7 9EP  
 Drawing Title: First Floor Plan  
 Status: Plans Proposed  
 Scale: 1:50, 1:100, 1:500@A2

Client: OSN Group  
 Project No: 1038  
 Date: 30/01/2025  
 Drawn By: SY  
 Rev: 06

**SY Design Studio**  
 T: 07959437227  
 E: sy@sydesignstudio.co.uk  
 W: www.sydesignstudio.co.uk

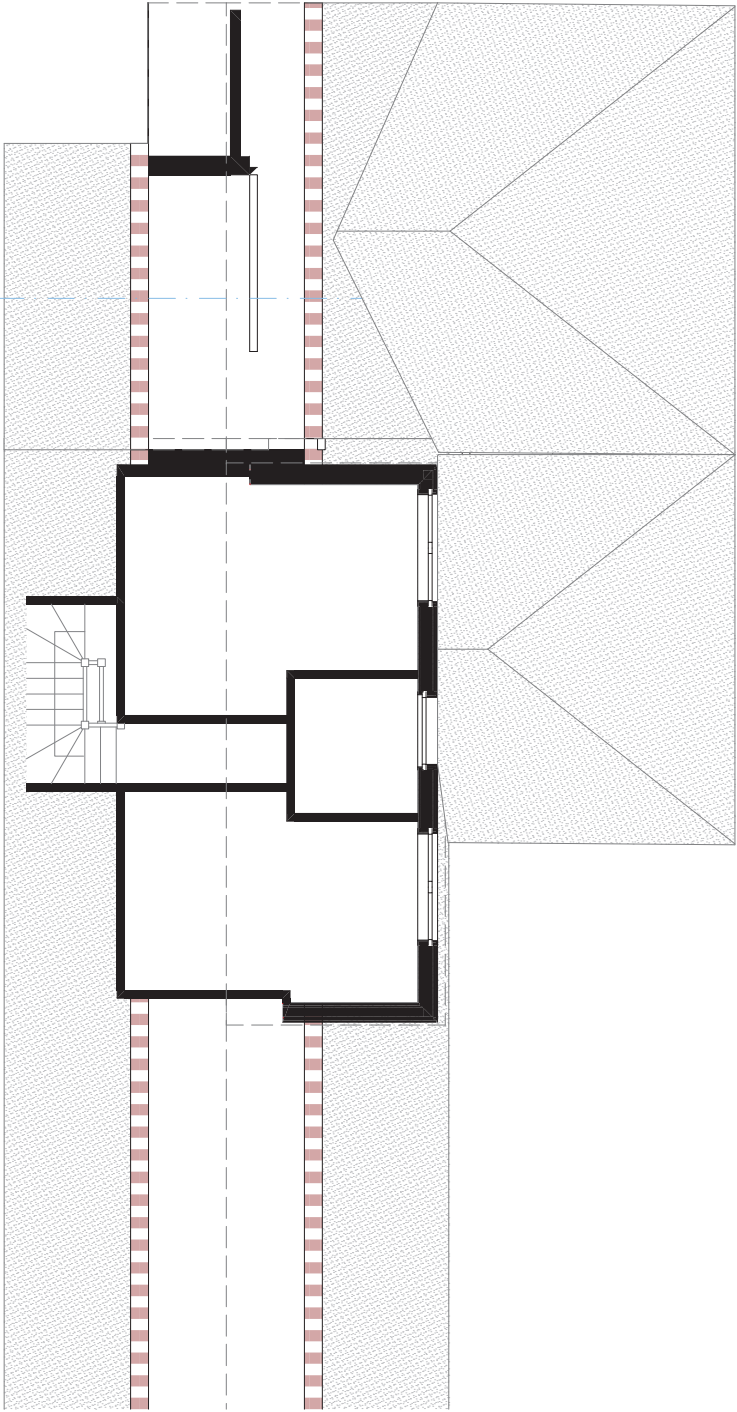


01-First Floor  
1:50

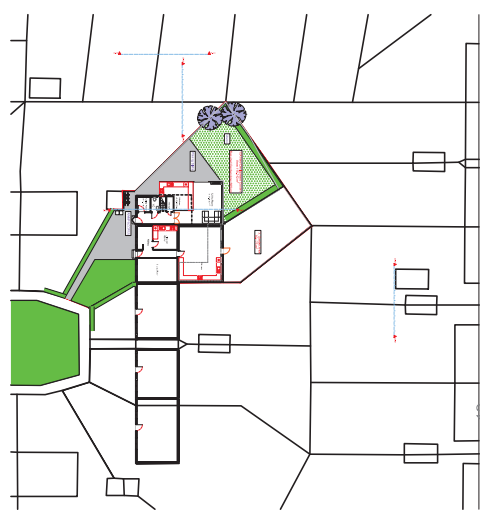




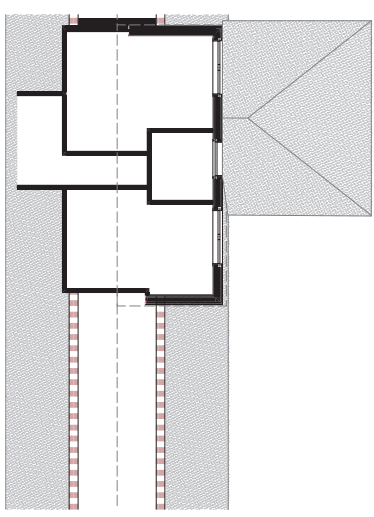
▼ S-08



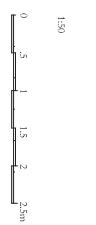
1 - RF-Roof 1:50



3 - Proposed Site-Ground Floor (1) 1:500



2 - RF-Existing Roof 1:100



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Rev	Date	Description	By	Check
01	25/10/2020	Change		
02	26/10/2020	Change		
03	23/10/2020	Change		
04	23/10/2020	Change		
05	23/10/2020	Change		

Site Address: 13 Oak Ave West Drayton UB7 9EP

Drawing Title: Proposed Roof Plan

Status: Plans Proposed

Scale: 1:50, 1:100, 1:500@A2

Client: OSN Group

Project No: 1038

Date: 30/01/2025

Drawn By: SY

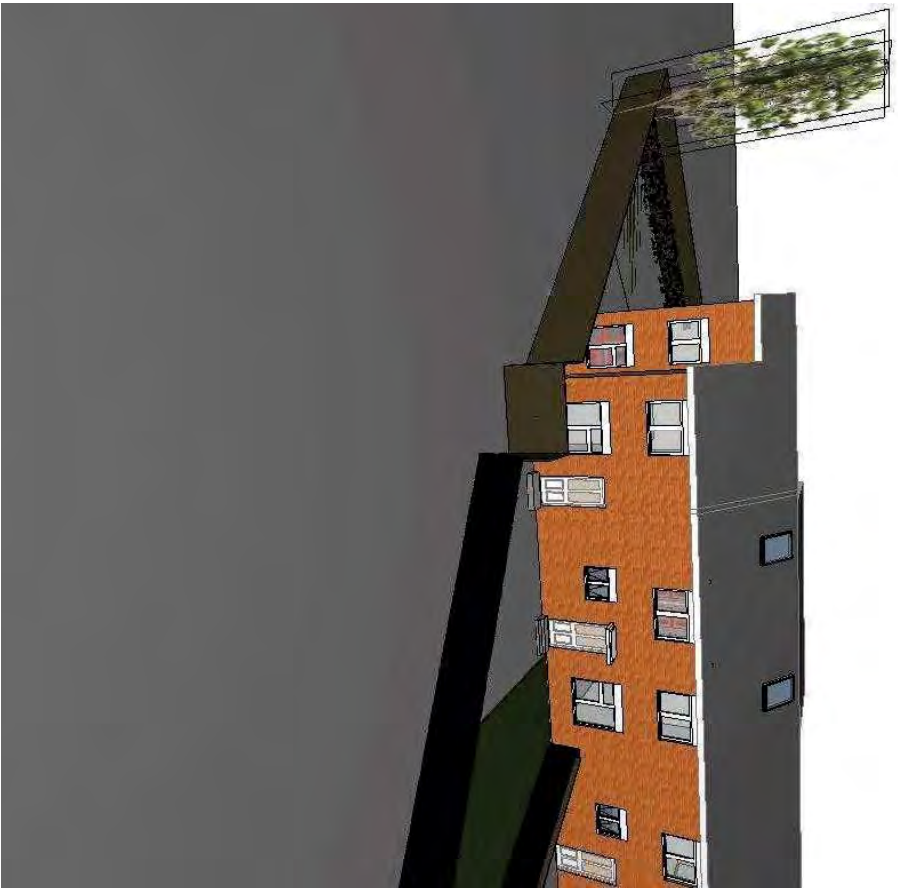
Drawing No: 1031-14\_Rev05

Rev: 06



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Tel: 07959431227  
 Email: info@sydesignstudio.co.uk  
 Web: www.sydesignstudio.co.uk



1 Generic Perspective

1:164.61

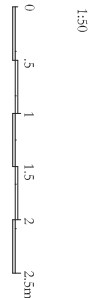
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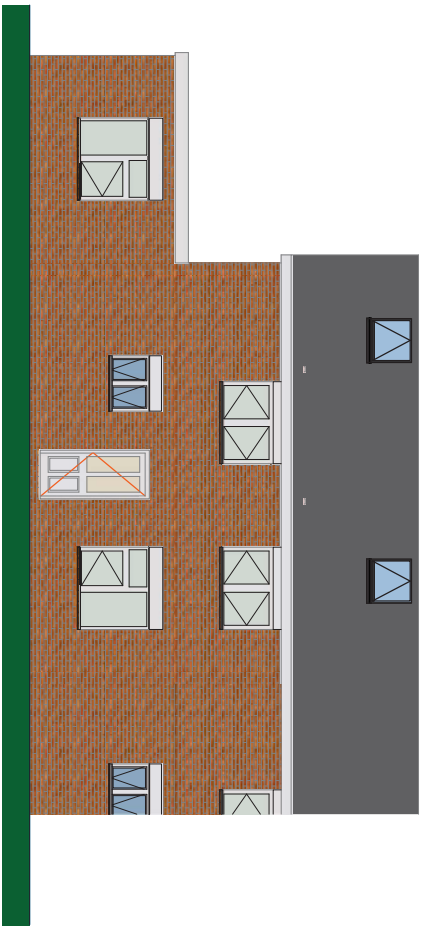
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8	23	Change
7	30/06/20	
6	23	
5	13/07/20	

<p>Site Address: <b>13 Oak Ave West Drayton UB7 9EP</b></p>		<p>Drawing Title: <b>3d Model</b></p>	
<p>Status: <b>Plans Proposed</b></p>		<p>Scale: <b>1:164.61@A3</b></p>	
Client:	OSN Group	Date:	30/01/2025
Project No:	1036	Drawing No:	1031-15_Rev06
Drawn By:	SY	Rev:	04

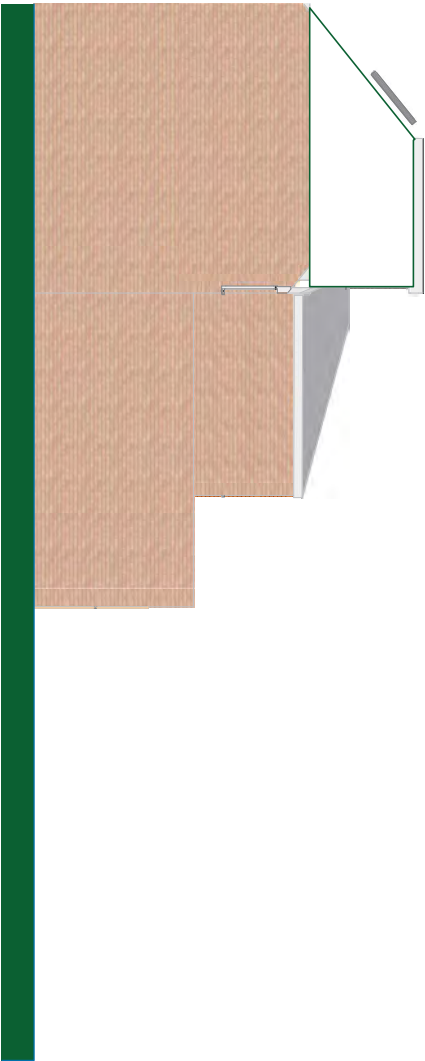
- Wall Legend**
-  Existing Wall
  -  Proposed Wall
  -  Demolition Walls



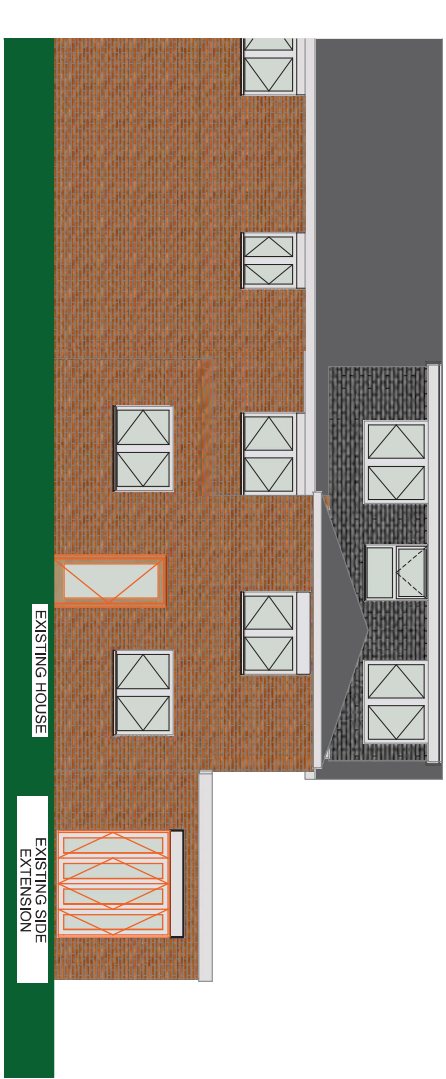
**SY Design Studio**



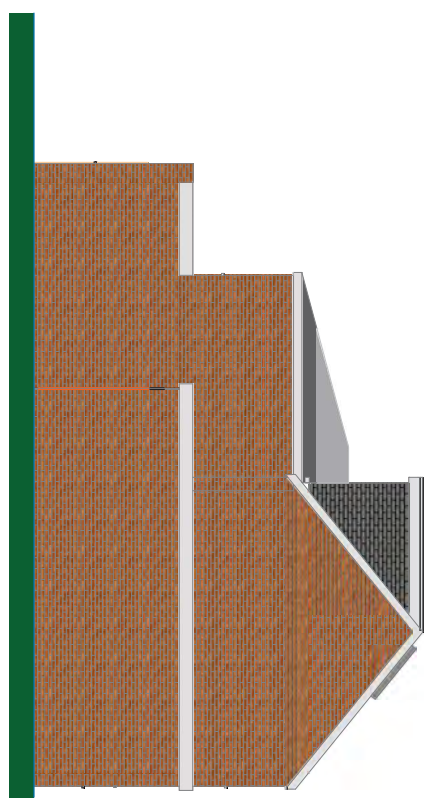
Existing Front Elevation  
1:100



Existing Side Elevation  
1:100



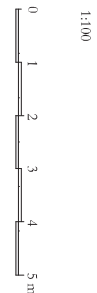
Existing Rear Elevation  
1:100



Existing Side Elevation (Garage)  
1:100

**Wall Legend**

- Existing Wall
- Proposed Wall
- Demolition Walls



2	-
---	---

Existing Rear Elevation  
1:100

4	-
---	---

Existing Side Elevation (Garage)  
1:100

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Rev	Date	Description
3	30/01/20	Change
2	30/06/20	Change
1	24	Change
0	30/06/20	Change
9	23	Change
8	13/07/20	
7		
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1		

Site Address:  
13 Oak Ave West Drayton UB7 9EP

Drawing Title:  
Existing Elevations

Status:  
Elevations Existing

Scale:  
1:100@A3

Client:  
OSN Group

Date:  
30/01/2025

Client:  
OSN Group

Date:  
30/01/2025

Project No:  
1036

Drawing No:  
1031-30\_Rev03

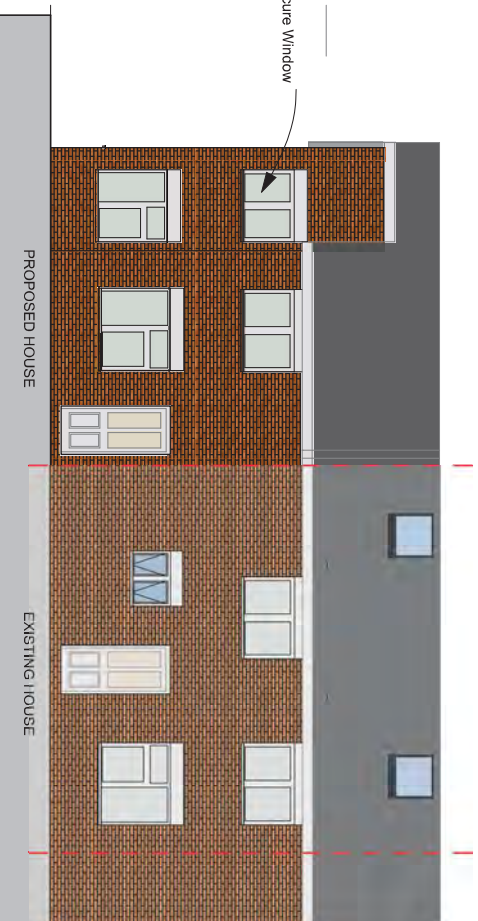
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Drawn By:  
SY

Rev:  
04

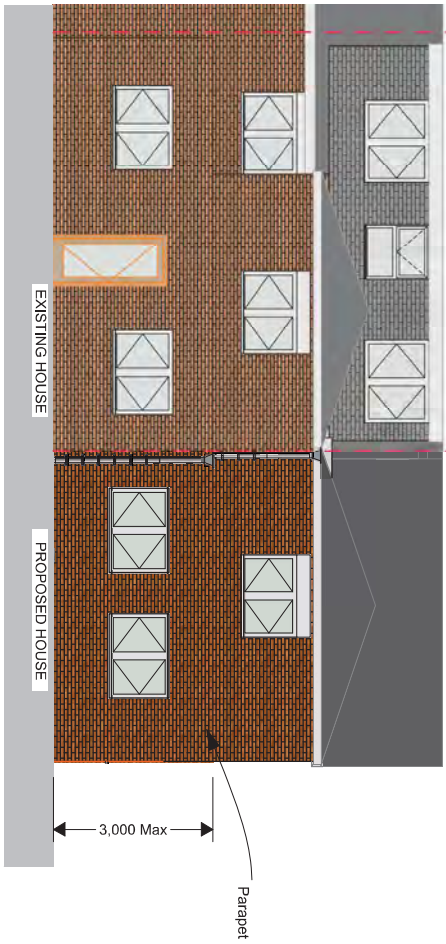


**SY Design Studio**

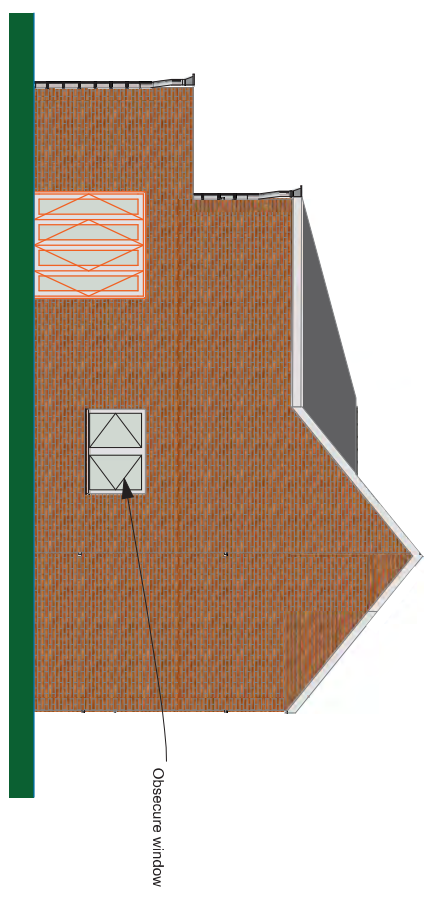


**Materials**  
All materials to match existing house

1  
-  
**Proposed Front Elevation**  
1:100



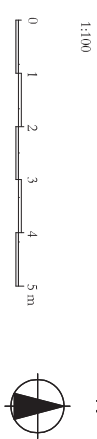
2  
-  
**Proposed Rear Elevation**  
1:100



3  
-  
**Proposed Left Side Elevation**  
1:100

**Wall Legend**

	Existing Wall
	Proposed Wall
	Demolition Walls



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Rev	Date	Description
30-01-20	25	Change
30-06-20	24	Change
30-06-20	23	Change
30-06-20	23	Change

Site Address:  
13 Oak Ave West Drayton UB7 9EP

Drawing Title:  
Proposed Elevations

Status:  
Elevations Proposed

Scale:  
1:100@A3

Client:  
OSN Group

Date:  
30/01/2025

Project No:  
1036

Drawn By:  
SY

Rev:  
06

13 Oak Ave West Drayton UB7 9EP

OSN Group

30/01/2025

1036

SY

06





GROUND FLOOR

1:180,51

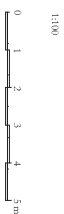


FIRST FLOOR

1:158,97

**Wall Legend**

-  Existing Wall
-  Proposed Wall
-  Demolition Walls



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  6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS' APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
  7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
  8. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Cont
1	20/06/20			
2				
3				
4				
5				
6	18/03/21	Change		
7	25/03/21	Change		
8				
9				
10				

Site Address: **13 Oak Ave West Drayton UB7 9EP**

Drawing Title: **3d plans**

Status: **Elevations Proposed**

Scale: **1:180,51**  
**1:198,97@A2**

Client: **OSN Group**

Date: **30/01/2025**

Drawn By: **SY**

Project No: **1038**

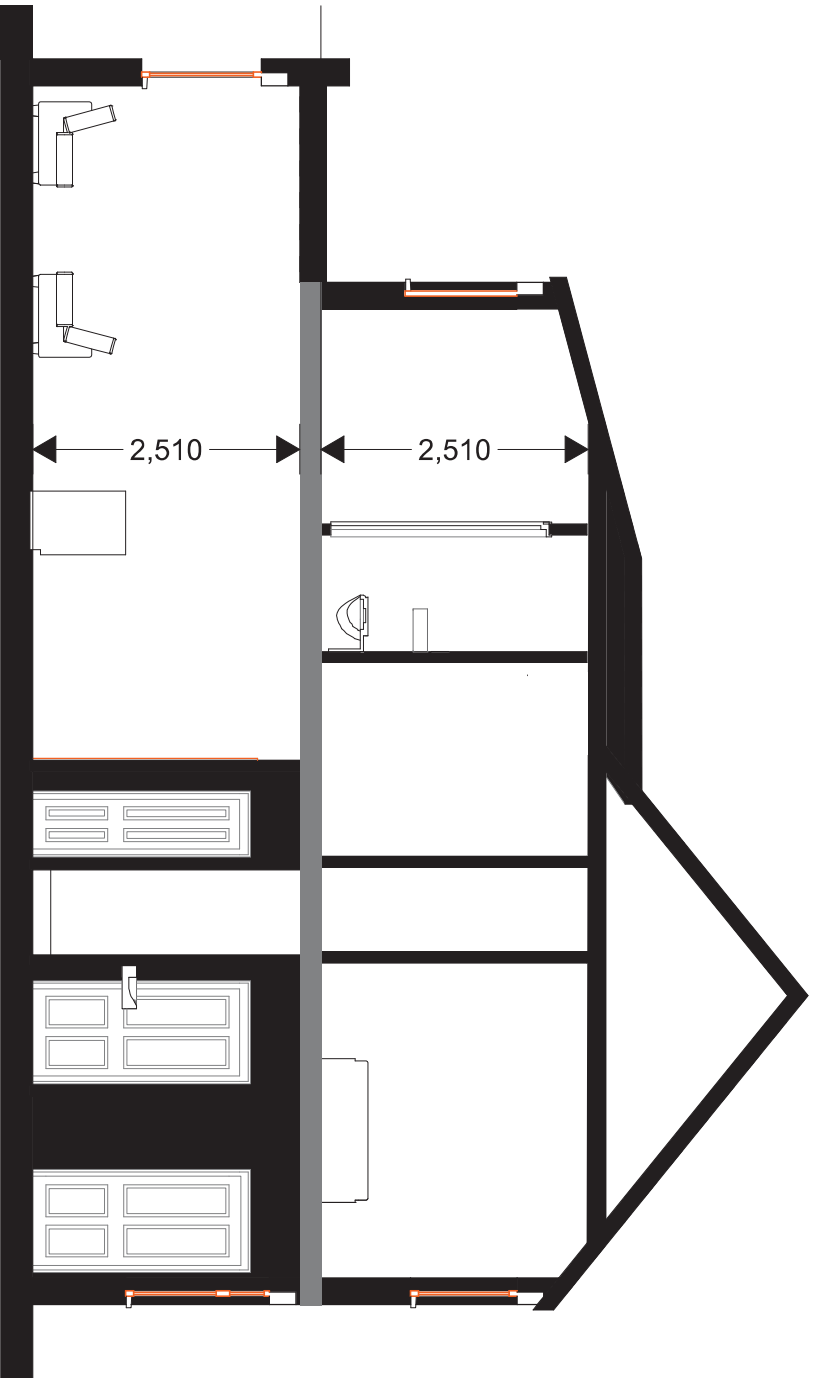
Drawing No: **1031-37**

Rev: **02**



**SY Design Studio**

Tel: 07959437227  
 Email: info@sydesignstudio.co.uk  
 Web: www.sydesignstudio.co.uk

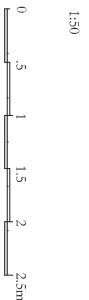


1

Building Section

1:50

- Wall Legend**
- Existing Wall
  - Proposed Wall
  - Demolition Walls



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8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS, AND ALL NECESSARY PERMITS OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description
2	30/01/20	Change
1	30/01/20	

Site Address:  
**13 Oak Ave West Dayton UB7 9EP**

Drawing Title:  
**S-01 Building Section**

Status:  
**Sections Proposed**

Scale:  
**1:50@A3**

Client:  
**OSN Group**

Date:  
**30/01/2025**

Project No:  
**1036**

Drawing No:  
**01**

Drawn By:  
**SY**

Rev:  
**02**





GROUND FLOOR

1:180,51

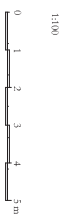


FIRST FLOOR

1:158,97

**Wall Legend**

-  Existing Wall
-  Proposed Wall
-  Demolition Walls



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Rev	Date	Description	By	Cont
1	20/06/20			
2				
3				
4				
5				
6				
7				
8				
9				
10				

Site Address: **13 Oak Ave West Drayton UB7 9EP**

Drawing Title: **3d plans**

Status: **Elevations Proposed**

Scale: **1:180,51**  
**1:198,97@A2**

Client: **OSN Group**

Date: **30/01/2025**

Project No: **1038**

Drawing No: **1031-37**

Drawn By: **SY**



Rev: **02**



**SY Design Studio**

Tel: 07959437227  
 Email: info@sydesignstudio.co.uk  
 Web: www.sydesignstudio.co.uk



<p><b>KEY :</b></p> <p> Site Boundary</p>	<p><b>ADDRESS :</b></p> <p>13 Oak Avenue West Drayton</p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>RESIDENTS SERVICES PLANNING SECTION</b></p>
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	<p><b>PLANNING COMMITTEE :</b></p>	<p><b>DATE :</b></p> <p>12/03/2025</p>	



**Report of the Head of Development Management and Building Control**

**Address:** 105 HAYES END ROAD

**Development:** Conversion of dwelling house into two flats, including the conversion of garage to habitable space, erection of a single storey rear extension, rear dormer with front-facing roof lights, amendments to fenestrations and associated parking (amended description).

**LBH Ref Nos:** 35665/APP/2024/3154

Date Produced: 02-Dec-2024

Scale: 1:2500 @A4



Planning Portal Reference: PP-13600470v1



Block Plan  
1:200  
Existing  
HAYES END RD

Proposed  
HAYES END RD

Revision	Revision Date

ADDRESS

SHEET NUMBER

105 Hayes End Rd

Hayes

UB4 8EL

PP01

DATE:  
28/11/2024

SCALE:  
1:200 @ A3



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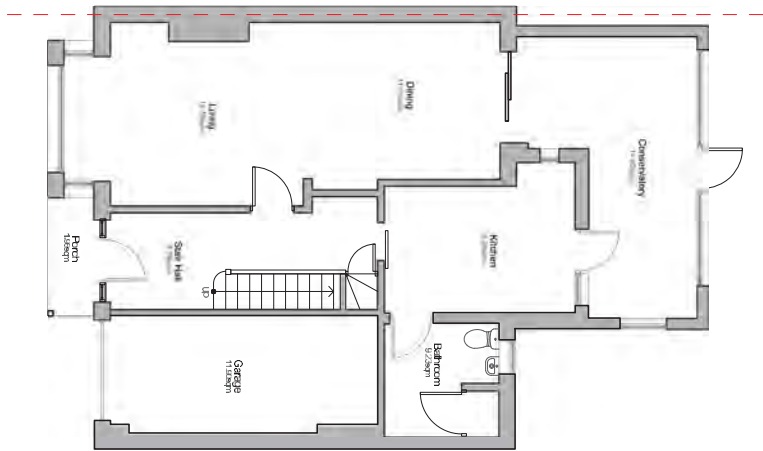


Planning

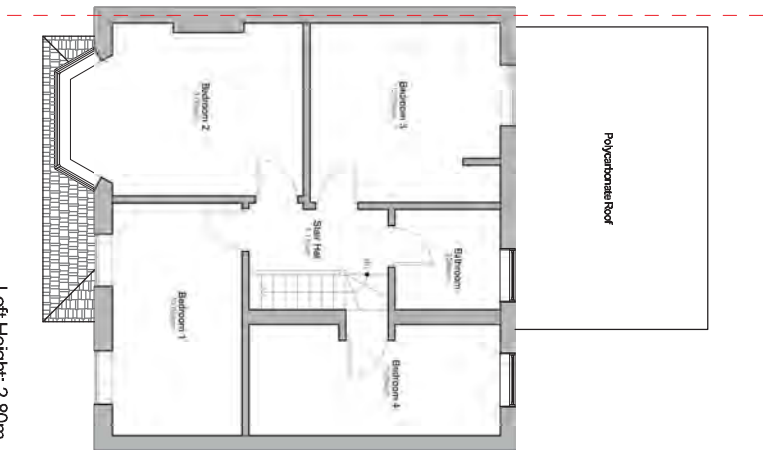
Tel: 020 3576 0996

Email: [info@excelplanning.co.uk](mailto:info@excelplanning.co.uk)

Address: 45 Stamford Hill,  
London, N16 5SR

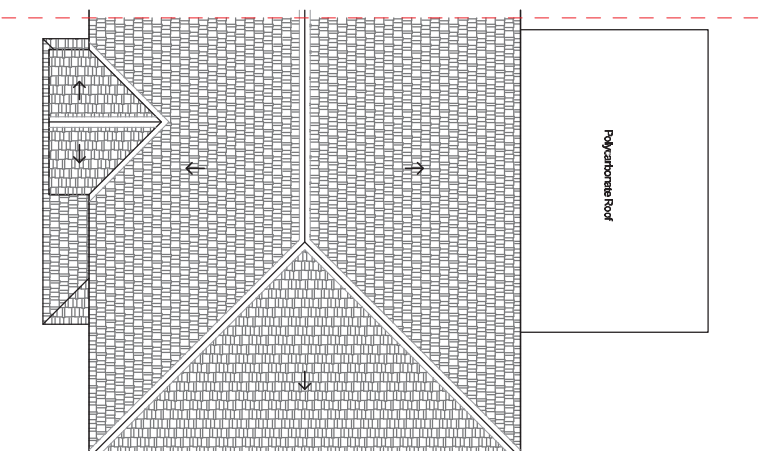


GROUND FLOOR



FIRST FLOOR

Loft Height: 2.80m



ROOF PLAN

Polycarbonate Roof

Polycarbonate Roof

Revision	Revision Date

ADDRESS

105 Hayes End Rd, Hayes UB4 8EL, UK

SHEET N  
E001

DRAWING TITLE  
Existing Floor Plans

DATE  
02/08/2024

SCALE  
1:100 @ A3



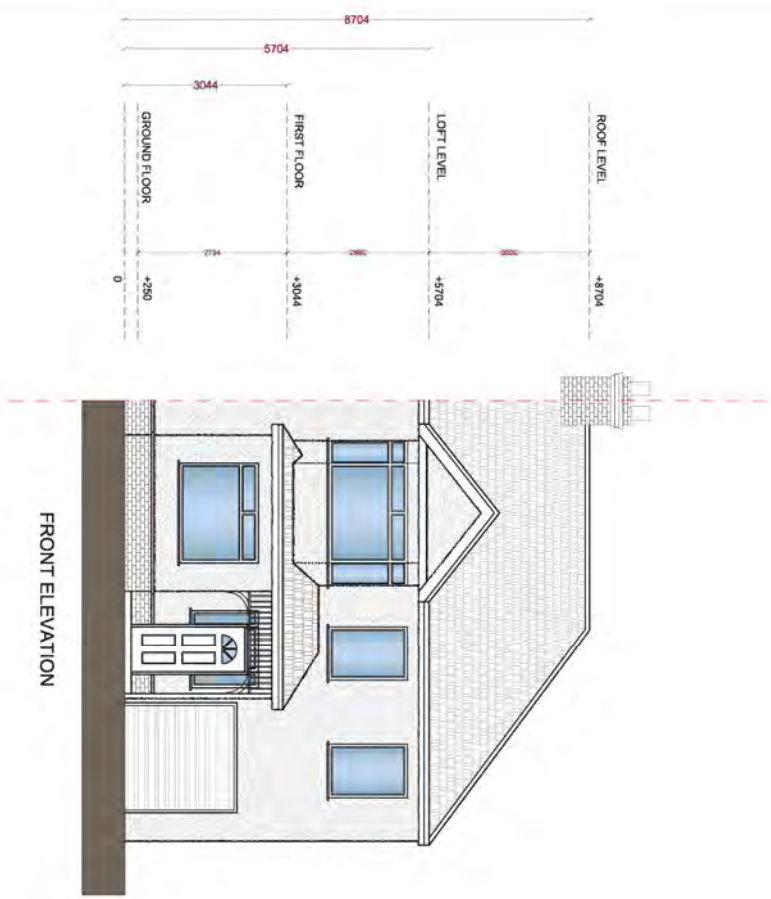
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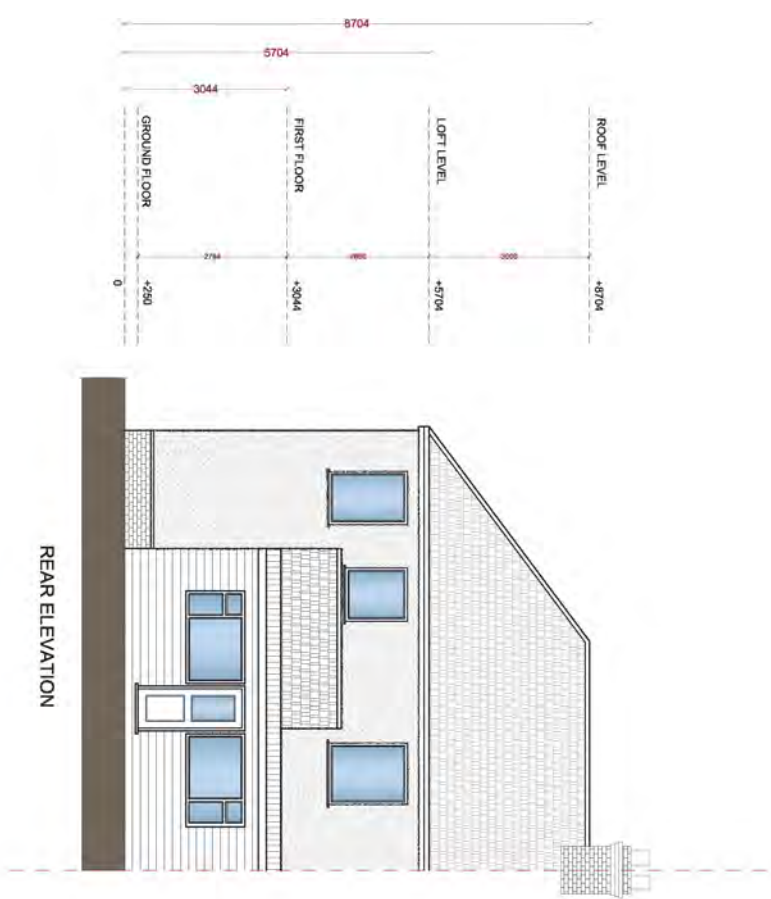
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FRONT ELEVATION



REAR ELEVATION

Revision	Revision Date

ADDRESS  
105 Hayes End Rd, Hayes UB4 8EL, UK

SHEET N  
E002

105 Hayes End Rd, Hayes UB4 8EL, UK

DRAWING TITLE  
Existing Elevations

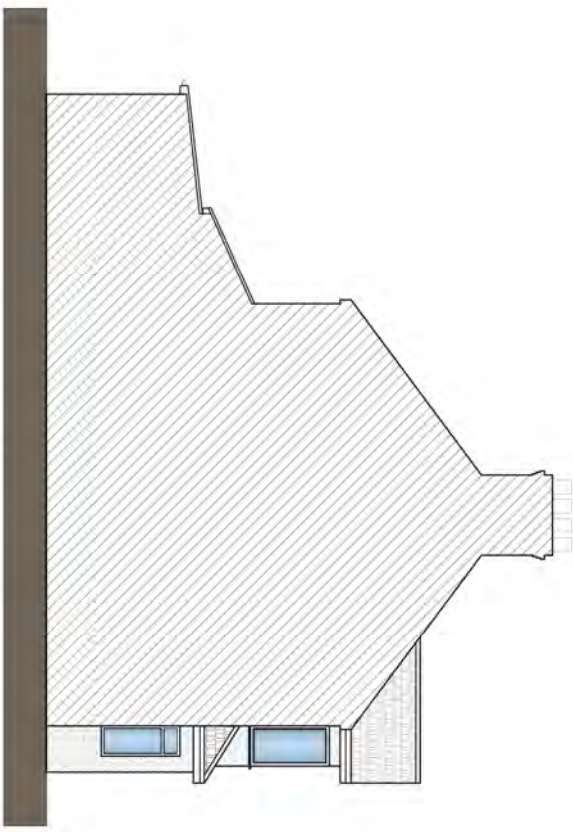
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DATE 02/08/2024 SCALE 1:100 @ A3

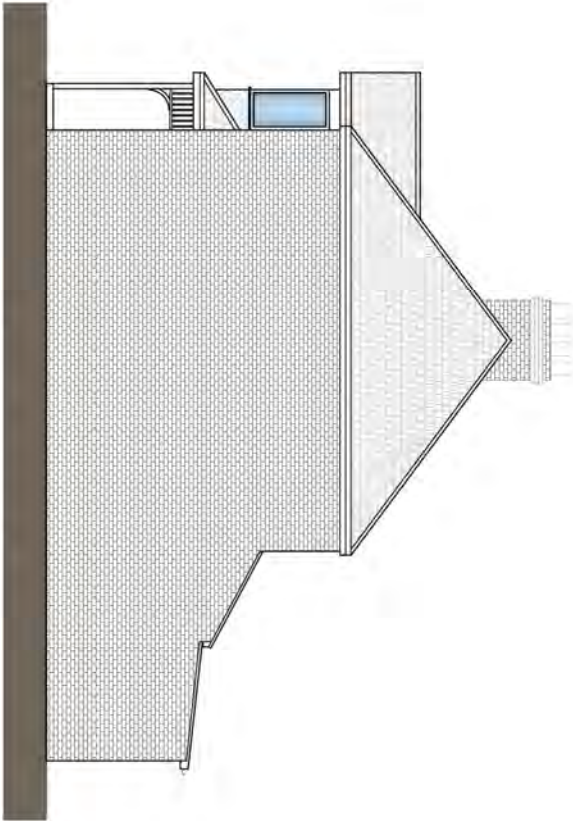


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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Revision	Revision Date

ADDRESS:  
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SHEET N  
E003



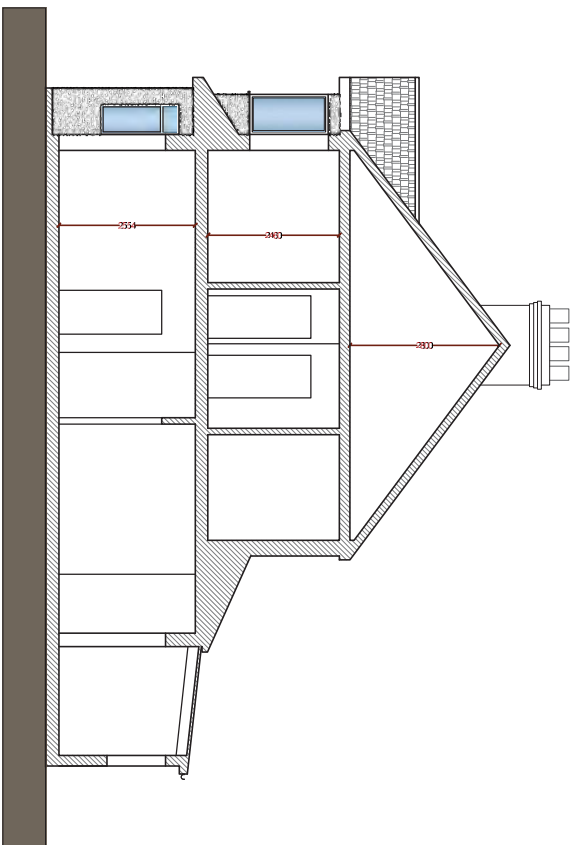
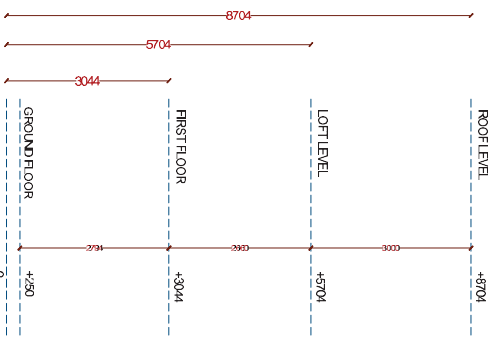
Planning

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DRAWING TITLE  
Existing Side Elevations  
DATE  
02/08/2024  
SCALE  
1:100 @ A3

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Revision	Revision Date

ADDRESS

105 Hayes End Rd, Hayes UB4 8EL, UK



1:100 @ A3



SHEET N

E004

DRAWING TITLE

Existing Section

DATE:

02/08/2024

SCALE

1:100 @ A3

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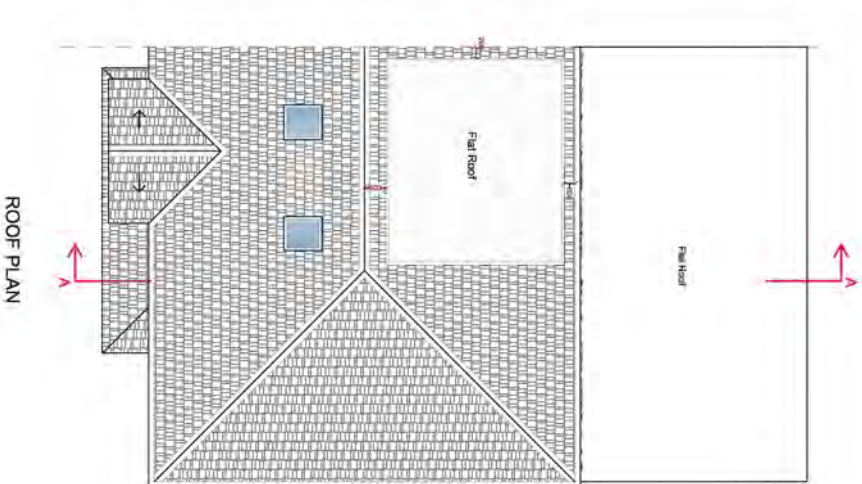
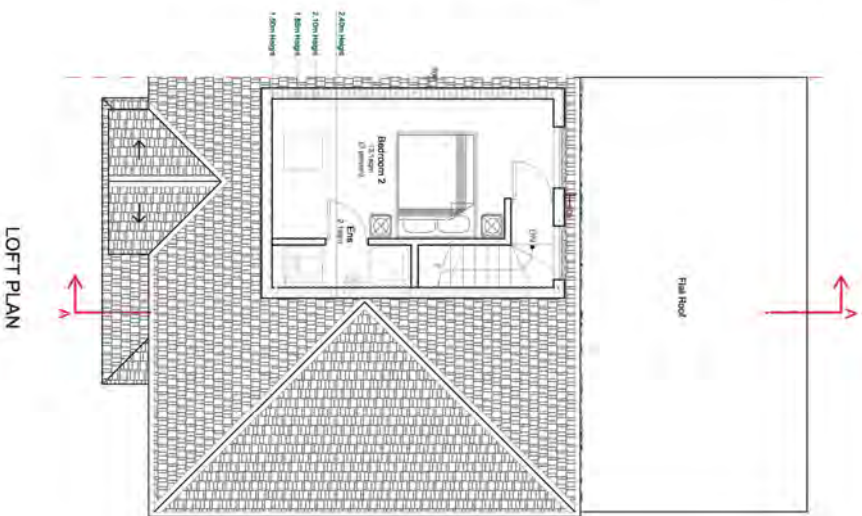
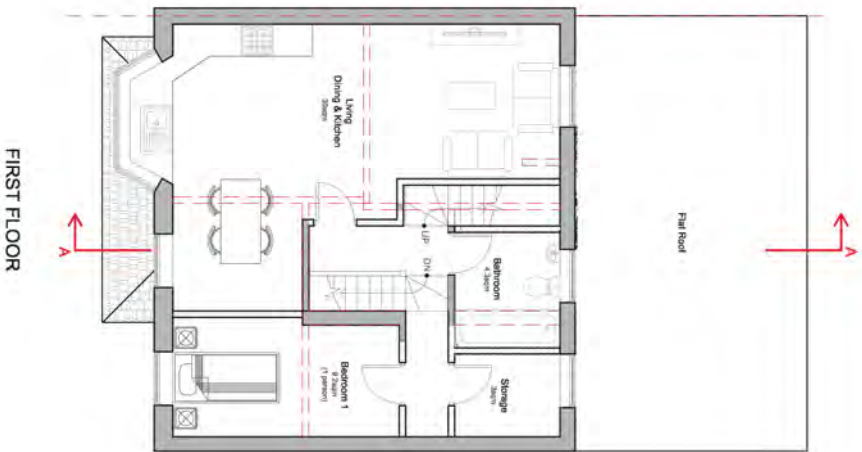
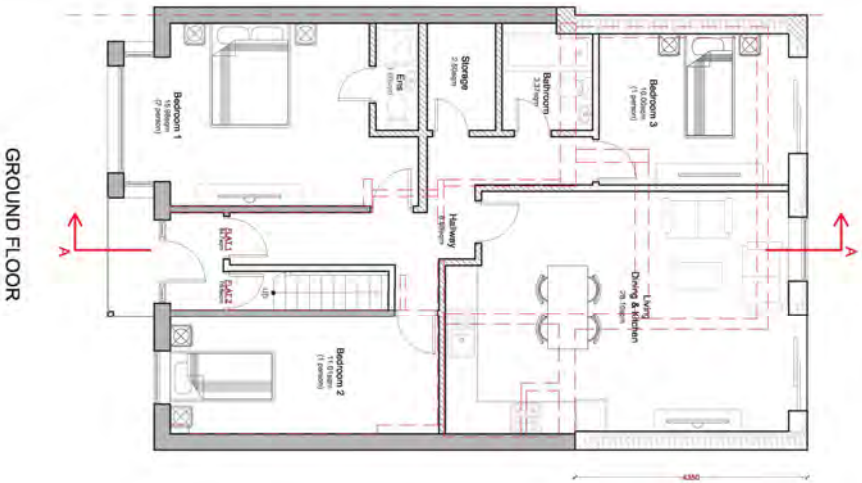


Tel: 020 3576 0996

Email: info@excelplanning.co.uk

Address: 45 Stamford Hill London N16 5SR

-  Existing walls to be demolished
-  New proposed walls
-  Existing walls



GROUND FLOOR

FIRST FLOOR

LOFT PLAN

ROOF PLAN

Revision	Revision Date

ADDRESS:

105 Hayes End Rd, Hayes UB4 8EL, UK

SHEET N  
P001

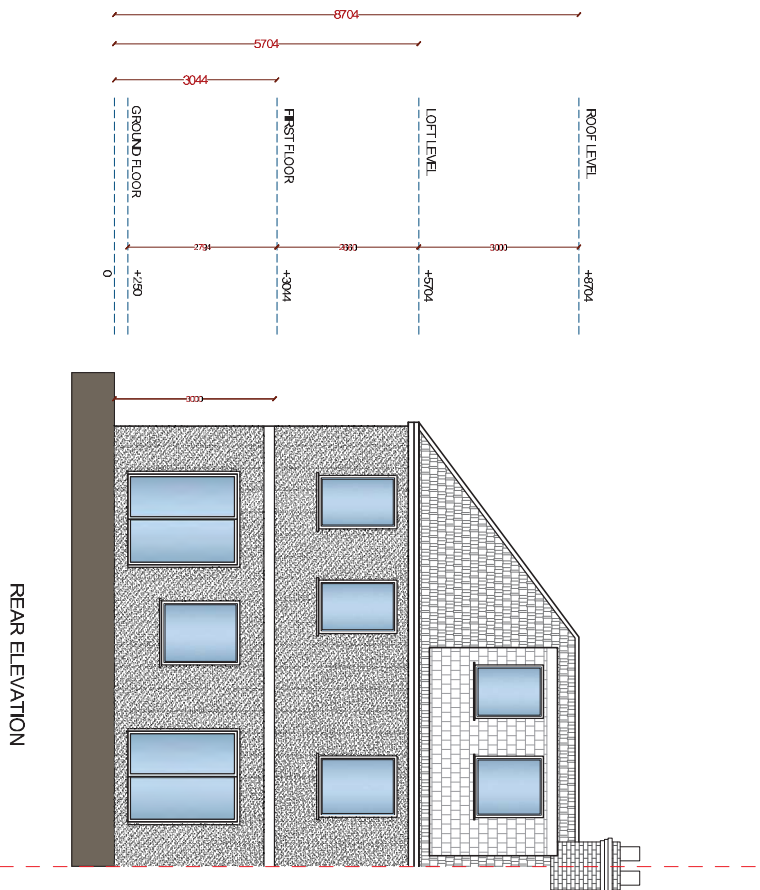
DRAWING TITLE  
Proposed Floor Plans

DATE  
02/08/2024

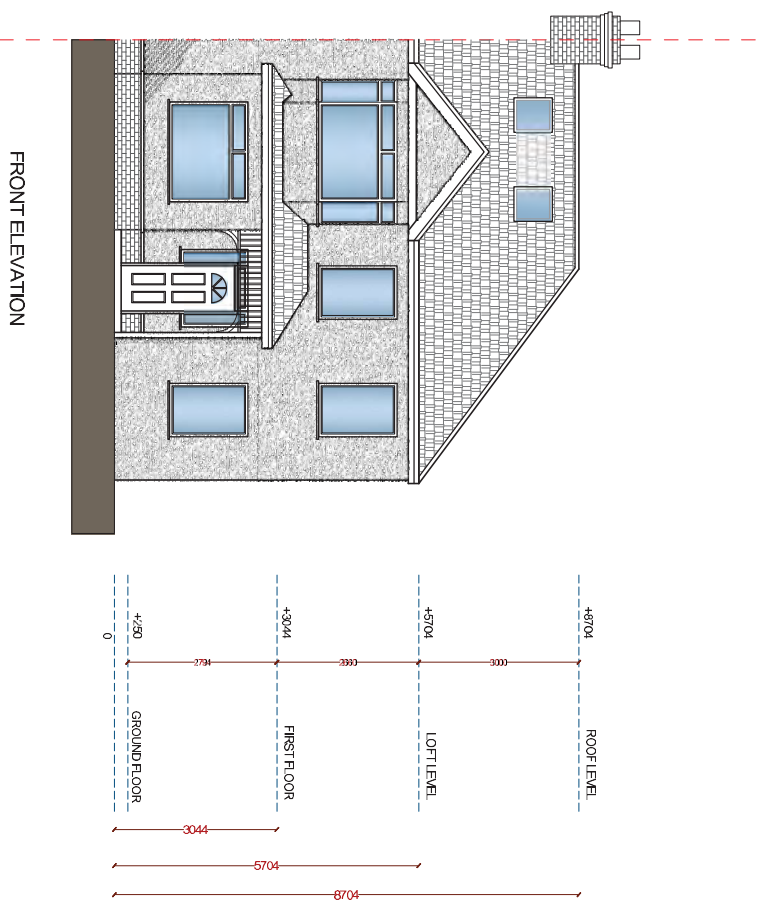
SCALE  
1:100 @ A3

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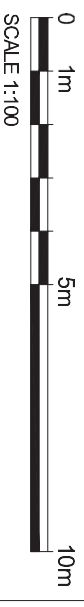




REAR ELEVATION



FRONT ELEVATION



ADDRESS

105 Hayes End Rd, Hayes UB4 8EL, UK

SHEET N

P002

DRAWING TITLE

Proposed Elevations

DATE:

02/08/2024

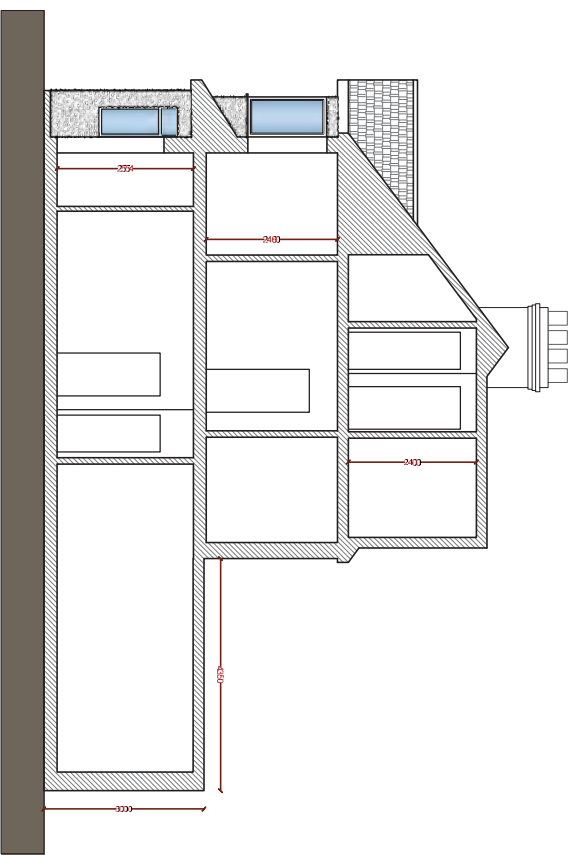
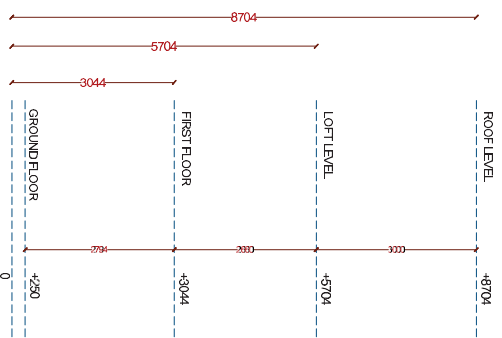
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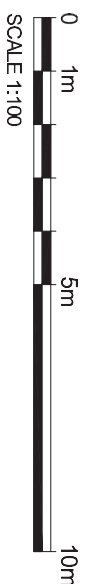
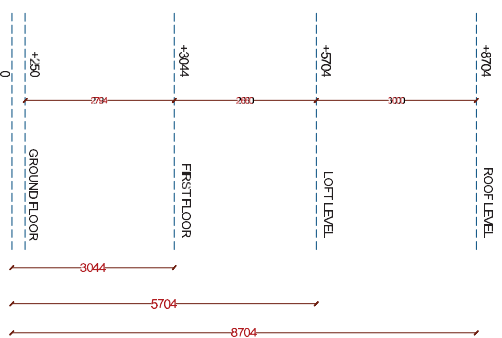
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Revision	Revision Date





SECTION AA



Revision	Revision Date

ADDRESS  
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SHEET N  
POD4

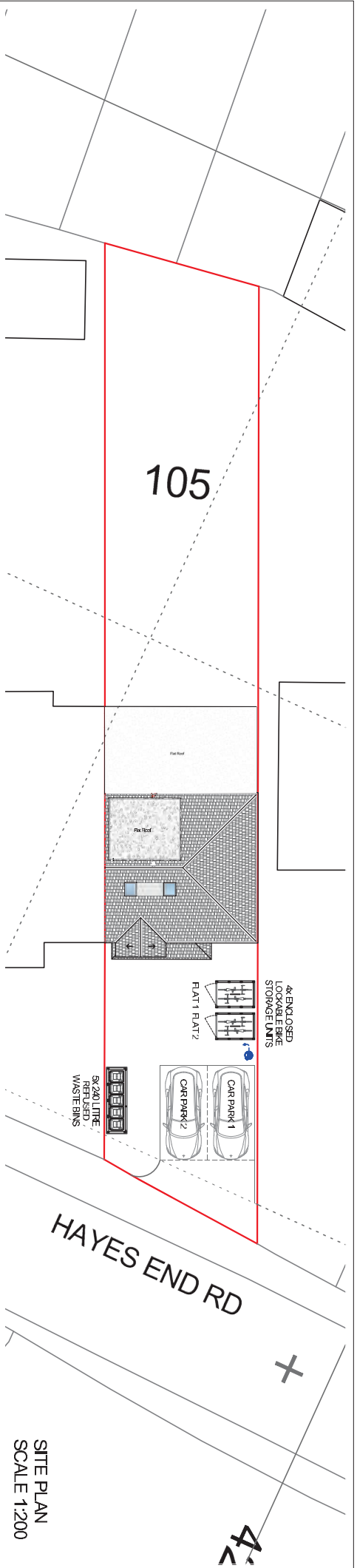
DRAWING TITLE  
Proposed Section

DATE: 02/08/2024  
SCALE: 1:100 @ A3



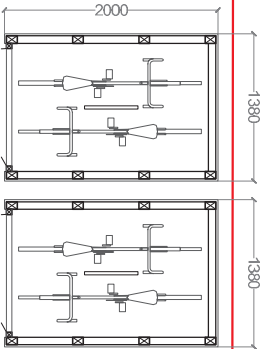
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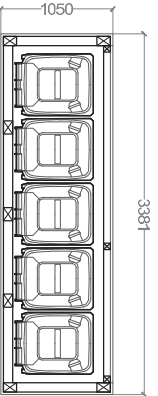


SITE PLAN  
SCALE 1:200

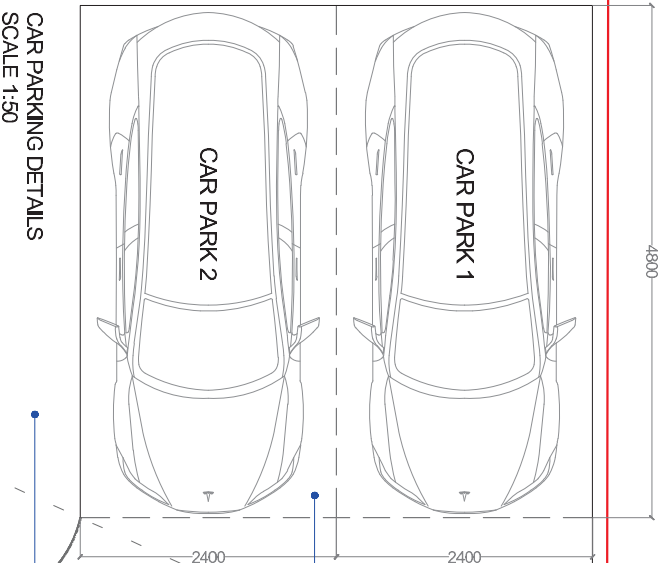
7KW EV/CP  
with Type 2  
Tethered  
Cable



ENCLOSED LOCKABLE BIKE  
STORAGE UNITS LAYOUT  
SCALE 1:50



REFUSED BINS LAYOUT  
SCALE 1:50



CAR PARKING DETAILS  
SCALE 1:50



Refused Bins Sample Image



Masterplug 1 Port 7.4kW Mode 3 Type 2 Plug  
Tethered Smart EV Charger with 5m Cable  
Black. 230V AC Charging. IP55 Rating.



ADDRESS

105 Hayes End Rd, Hayes UB4 8EL, UK

SHEET N  
P005

DRAWING TITLE  
Proposed Site Plan

DATE: 06/02/2024  
SCALE: 1:100 @ A3

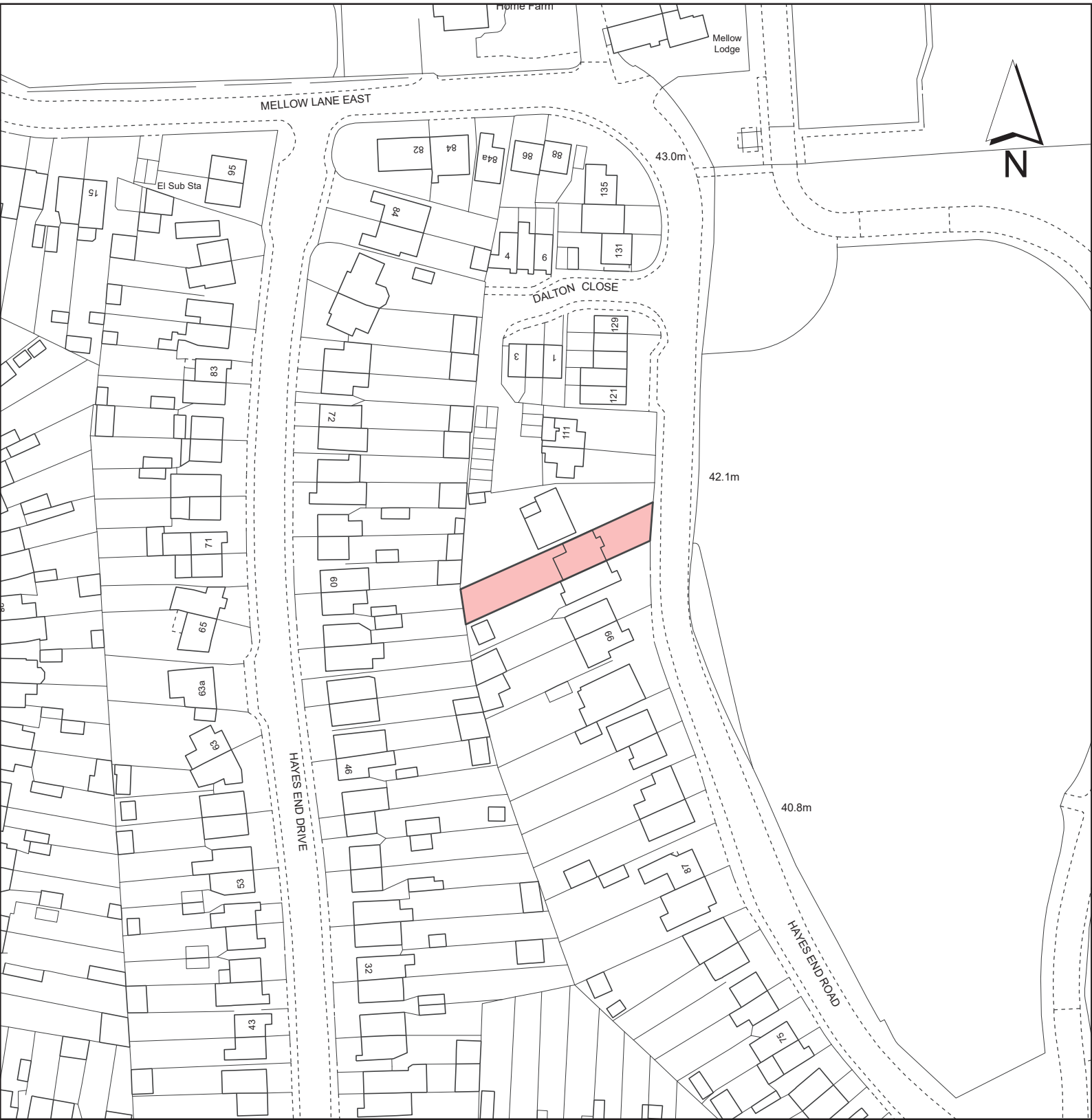




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Revision	Revision Date



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<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 105 Hayes End Road		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 12/03/2025	

**Report of the Head of Development Management and Building Control**

**Address:**

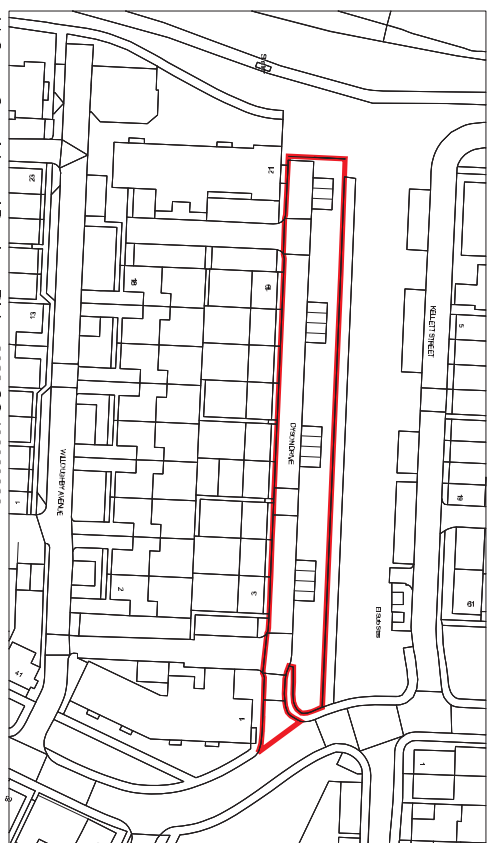
DYSON DRIVE

**Development:**

The creation of 9no. off-street parking spaces and planting of 3no. new trees.

**LBH Ref Nos:**

78464/APP/2024/3196

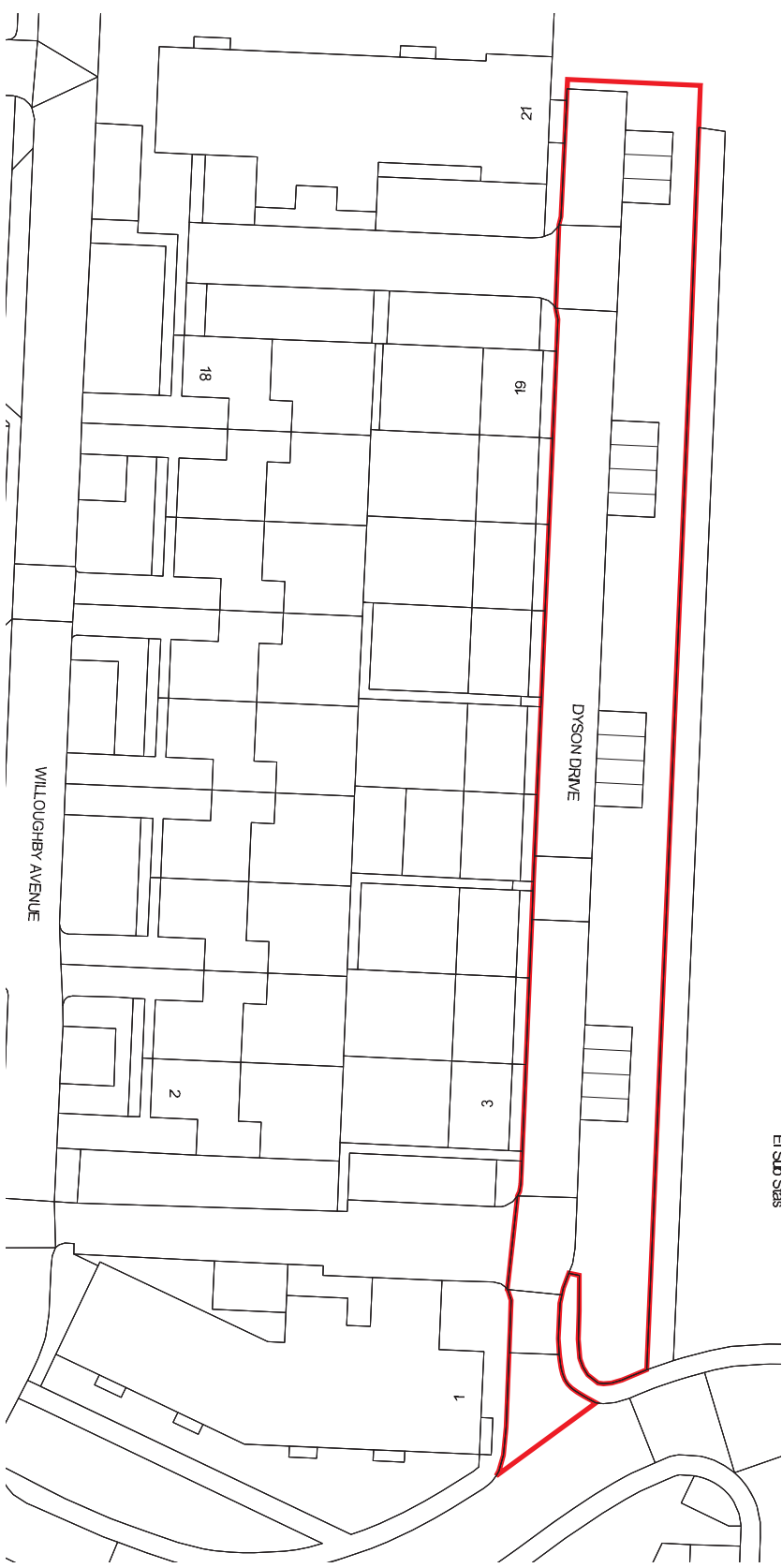


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Location Plan

Scale 1:1250

1:500 DRS



Existing Site Layout Scale 1:500

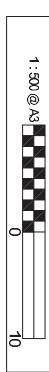
Rev	Date	Description

**FLUENT**  
ARCHITECTURAL DESIGN SERVICES

ARCHITECTURAL DESIGN SERVICES  
69-71 WINCHELL ROAD, BUNGURDY,  
MIDDLESBROUGH TA4 4BQ  
TEL: 01642 814811  
E-MAIL: INFO@FLUENTMADS.CO.UK  
WEB: FLUENTMADS.CO.UK

Dyson Drive, Hillingdon, Uxbridge

Existing Location and Site Plans



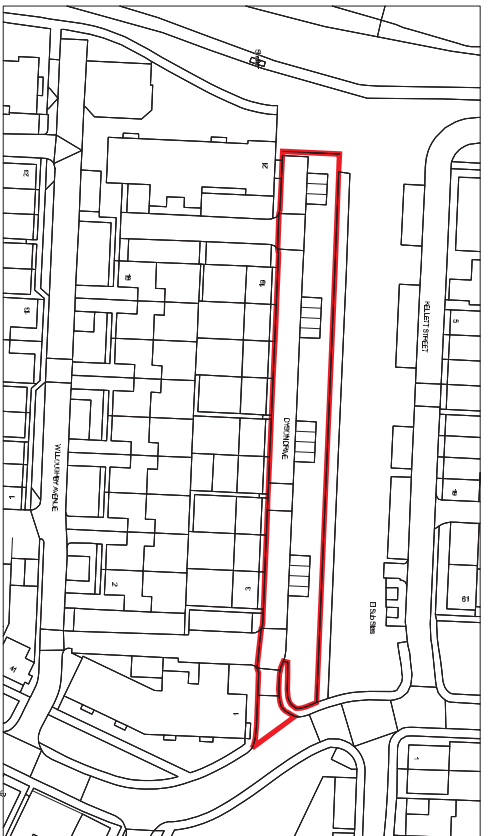
Scale  
1:500 @ A3

DWG No.  
FLU.CP.01

Date  
11.07.23

Rev  
B

Drawn  
N.Millin



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Location Plan

Scale 1:1250

- Proposed Trees
- Existing Trees



Rev	Date	Description



**FLUENT**  
ARCHITECTURAL DESIGN SERVICES

ARCHITECTURAL DESIGN SERVICES  
69-71 WINDMILL ROAD, BUNGURNY,  
MIDDLESBROUGH TA4 5BQ  
E-MAIL: INFO@FLUENTMAD.COM.UK  
WEB: FLUENTMAD.COM.UK

Dyson Drive, Hillingdon, Uxbridge

Proposed Location and Site Plans



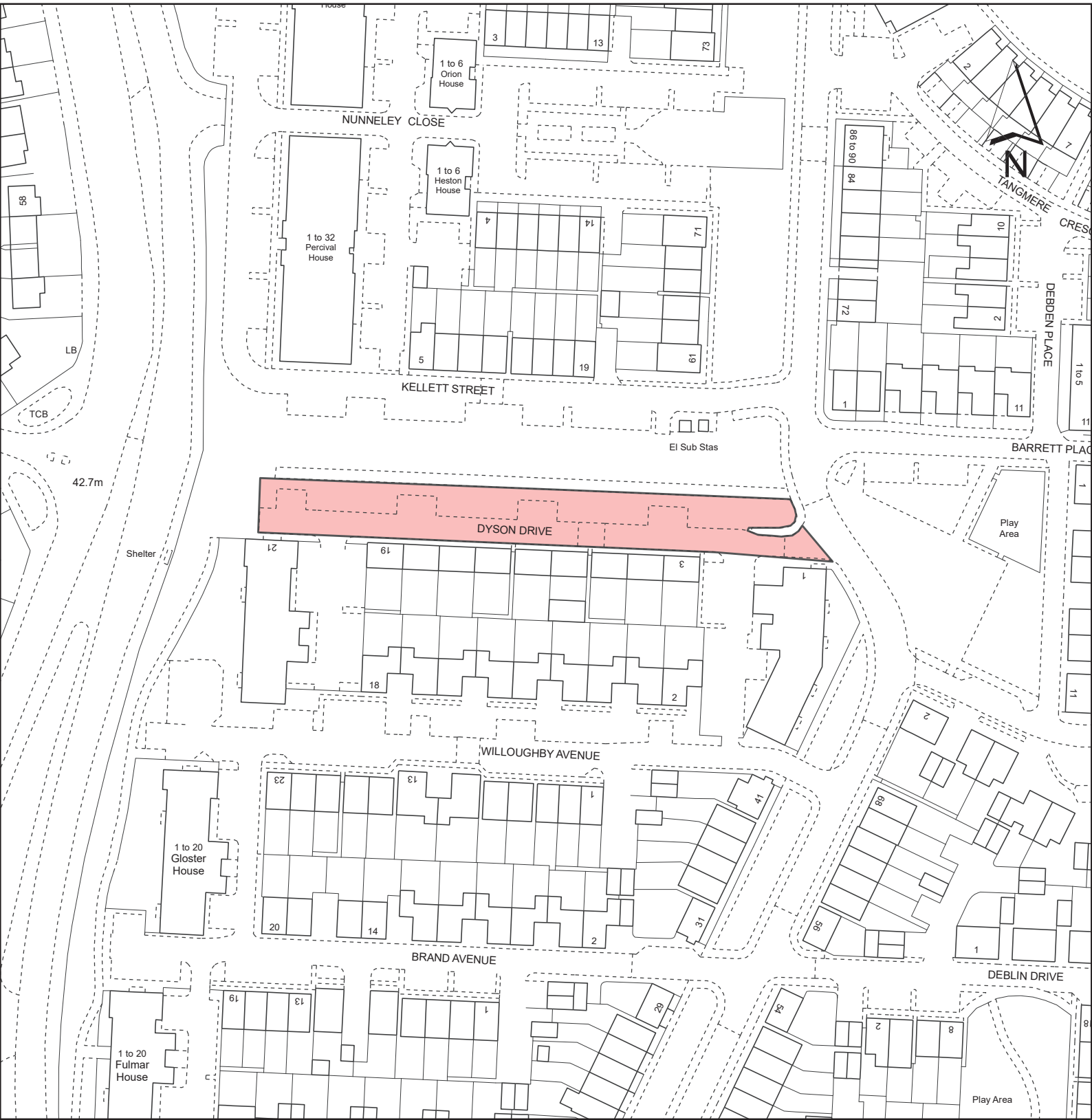
Scale	DWG No.
1:500 @ A3	FLU.CP.02



Date	Rev
11.07.23	D
Drawn	
N.Millin	



Proposed Site Layout Scale 1:500





<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> Dyson Drive		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright <b>© Crown copyright and database rights 2024 Ordnance Survey AC0000810857</b>	<b>PLANNING APPLICATION REFERENCE :</b> 78464/APP/2024/3196	<b>SCALE :</b> 1:1,250	<b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 12/03/2025	

**Report of the Head of Development Management and Building Control**

**Address:**

41A PARKFIELD ROAD

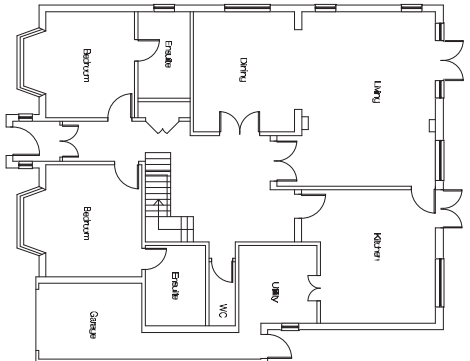
**Development:**

Demolition of the existing dwelling and the replacement with a two storey five-bedroom dwelling with associated parking and landscaping

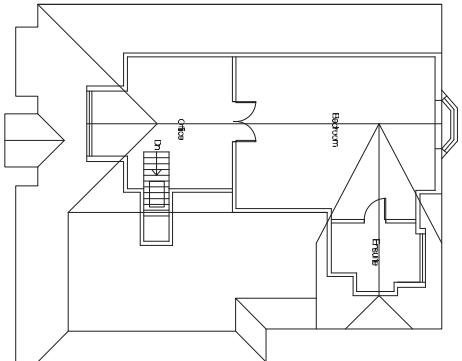
**LBH Ref Nos:**

38629/APP/2024/1155

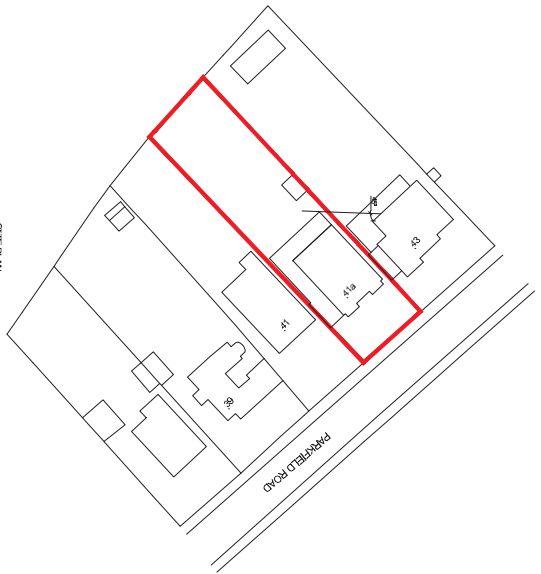
SCALE BAR 1:1250 0 10 20 30 40 50m



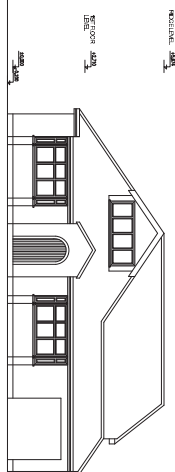
EXISTING GROUND FLOOR PLAN  
1:100



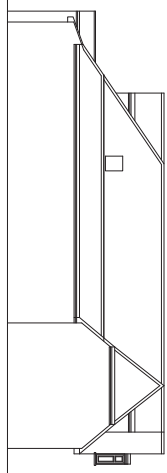
EXISTING FIRST FLOOR PLAN  
1:100



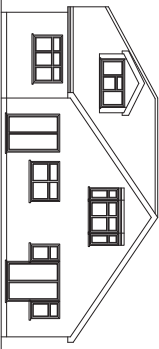
SITE PLAN  
1:250



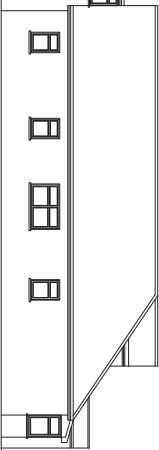
EXISTING FRONT ELEVATION  
1:100



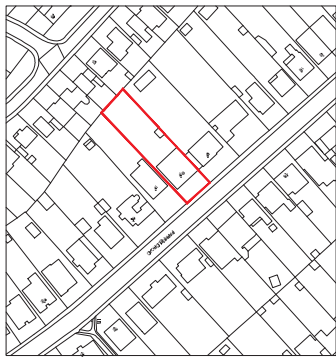
EXISTING SIDE ELEVATION  
1:100



EXISTING REAR ELEVATION  
1:100



EXISTING SIDE ELEVATION  
1:100



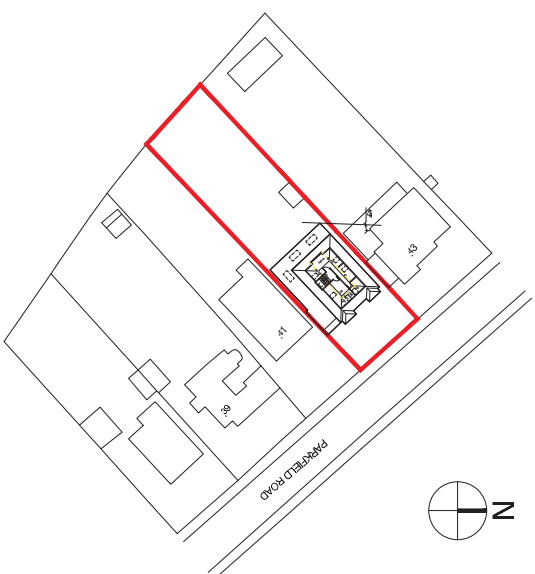
LOCATION PLAN  
1:1250

SCALE BAR 1:1500  
0 5 10 15 20 25m

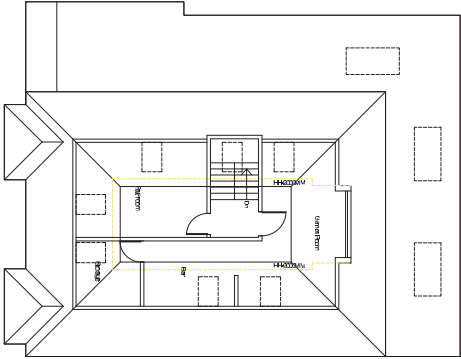
SCALE BAR 1:100  
0 1 2 3 4 5m

<b>Constio</b> DESIGN + PLANNING + ARCHITECTURE		<b>RTPI</b> Chartered Town Planner	
Ulna 1, 590 Cowley Hill Rd, Uxbridge UB8 2PX TEL: 01895 21228 EMAIL: info@constio.co.uk   constio.co.uk		DISCLAIMER: THESE ARE THE PLANNING DRAWINGS AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE EXPRESS WRITTEN PERMISSION OF CONSTIO.	
<b>IMPORTANT NOTICE!</b> 1. ALL OTHERS' REQUIREMENTS WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY, TO BE FULLY COMPLIED WITH BY BUILDING NOTICES.			
THIS DRAWING IS SUBJECT TO COMMENTATION AND REMOVAL OF THIS DRAWING WITHOUT REPERMISSION FROM CONSTIO.		REVISION:	
REVISION	DESCRIPTION	DATE	
A	BLOCK PLAN AMENDED COUNCIL AMENDMENTS	15/08/24	
B		24/10/24	
<b>DESCRIPTION:</b> REPLACEMENT DWELLING			
<b>CLIENT / JOB ADDRESS:</b> 41A PARKFIELD ROAD ICENHAM UB10 8LW			
<b>DRAWING TITLE</b> PLANNING APPLICATION		<b>STATUS</b> PA	
SCALE	1:100, 1:500 & 1:1250	@ A1	CHECKED
DATE	07/11/2023		HM
JOB NO.	41-23-01		SG
DWG NO.	PA-01		REVISION
			B

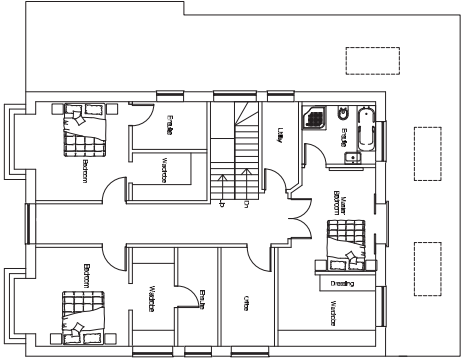
SCALE BAR 1:1250 0 10 20 30 40 50m



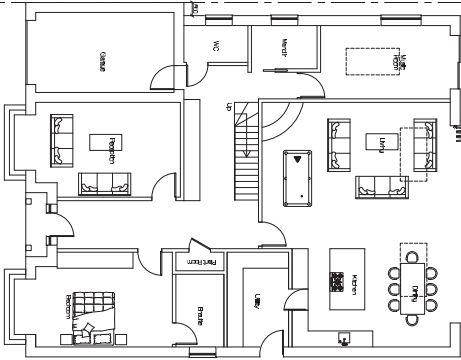
SITE PLAN  
1:250



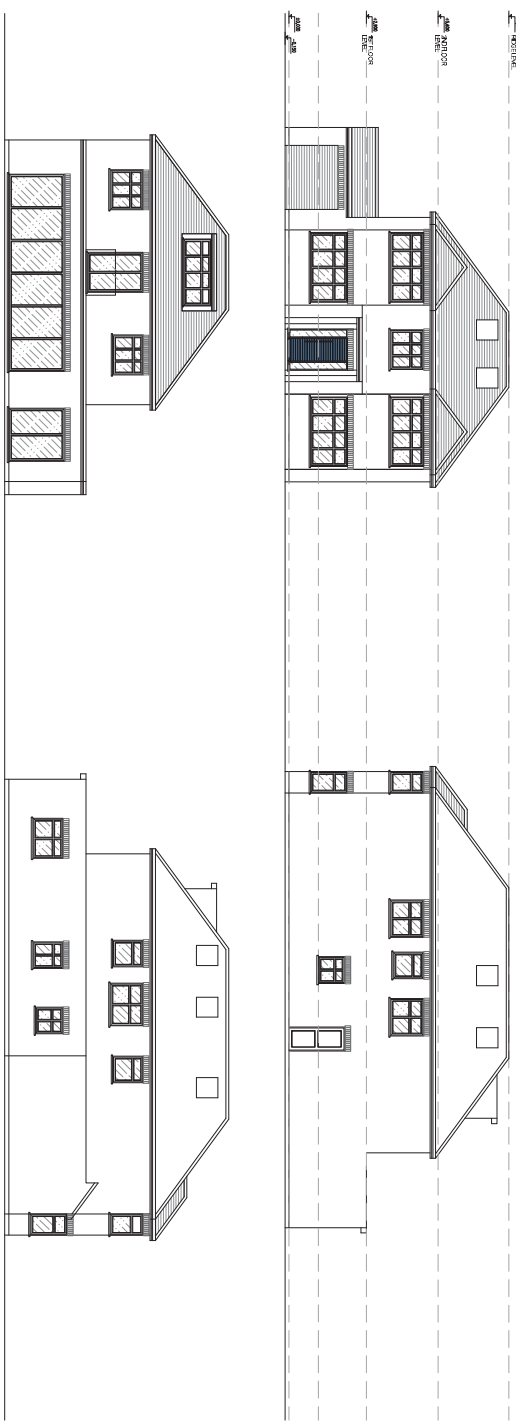
PROPOSED LOFT PLAN  
1:100



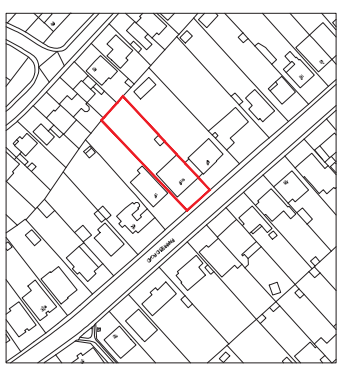
PROPOSED FIRST FLOOR PLAN  
1:100



PROPOSED GROUND FLOOR PLAN  
1:100



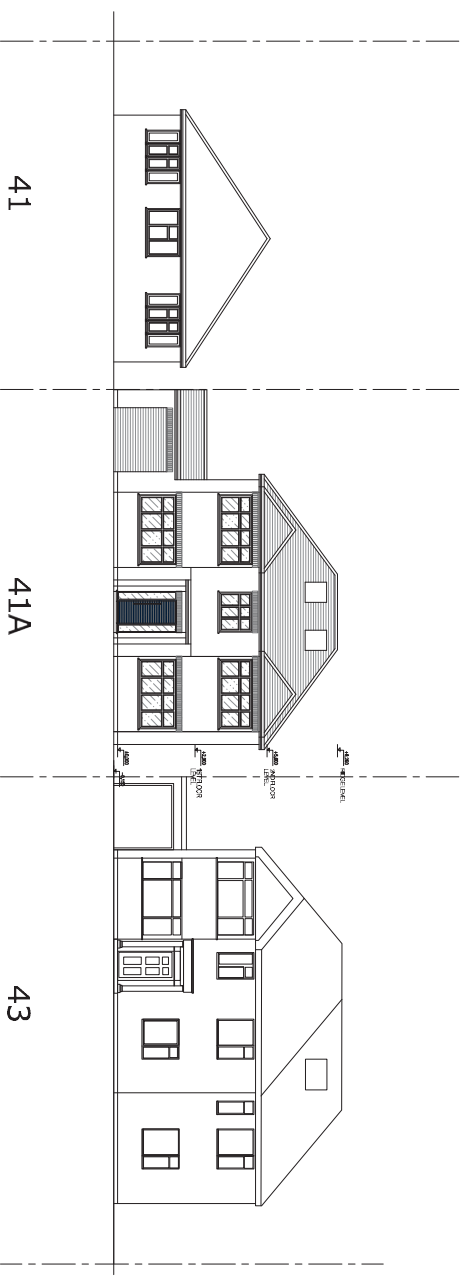
SCALE BAR 1:1500 0 5 10 15 20 25m



LOCATION PLAN  
1:1250

SCALE BAR 1:100 0 1 2 3 4 5m

<p>CONRAD TURNER WINDLE 2, AVONWOOD, 2, 2ND FLOOR NORWICH, NORFOLK</p> <p>TEL: 01603 252222 EMAIL: info@conradturner.co.uk</p>		<p>DISCLAIMER: THESE ARE THE PLANNING DRAWINGS AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF CONRAD TURNER WINDLE.</p>		<p>IMPORTANT NOTE: 1. ALL OTHERS' BUILDINGS WITHIN THE SQUARE LINES OF THE SUBJECT PROPERTY TO BE SHOWN AS EXISTING. BUILDING CONTROL, NOT BUILDING NOTICE.</p>		<p>REVISION</p> <table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>B</td> <td>COUNCIL AMENDMENTS</td> <td>24/10/24</td> </tr> <tr> <td>C</td> <td>COUNCIL AMENDMENTS</td> <td>10/02/25</td> </tr> </table>		REVISION	DESCRIPTION	DATE	B	COUNCIL AMENDMENTS	24/10/24	C	COUNCIL AMENDMENTS	10/02/25	<p>DESCRIPTION: <b>REPLACEMENT DWELLING</b></p>		<p>CLIENT / JOB ADDRESS: <b>41A PARKFIELD ROAD ICKENHAM UB10 8LW</b></p>		<p>DRAWING TITLE    PLANNING APPLICATION</p> <table border="1"> <tr> <th>SCALE</th> <th>DATE</th> <th>JOB NO.</th> <th>DWG NO.</th> <th>STATUS</th> <th>CHECKED</th> <th>DRAWN</th> <th>REVISION</th> </tr> <tr> <td>1:100, 1:500 &amp; 1:1250</td> <td>10/02/2025</td> <td>41-23-01</td> <td>PA-02</td> <td>@ A1</td> <td>HM</td> <td>SG</td> <td>C</td> </tr> </table>		SCALE	DATE	JOB NO.	DWG NO.	STATUS	CHECKED	DRAWN	REVISION	1:100, 1:500 & 1:1250	10/02/2025	41-23-01	PA-02	@ A1	HM	SG	C
REVISION	DESCRIPTION	DATE																																				
B	COUNCIL AMENDMENTS	24/10/24																																				
C	COUNCIL AMENDMENTS	10/02/25																																				
SCALE	DATE	JOB NO.	DWG NO.	STATUS	CHECKED	DRAWN	REVISION																															
1:100, 1:500 & 1:1250	10/02/2025	41-23-01	PA-02	@ A1	HM	SG	C																															



PROPOSED STREET VIEW  
1:100

SCALE BAR 1:500 0 5 10 15 20 25m

SCALE BAR 1:100 0 1 2 3 4 5m

**Constilio**  
DESIGN • PLANNING • ARCHITECTURE

Unit 1, 590 Cochrane Rd,  
Watlington NSW 2757

TEL: 02 6922 2288  
CONSULTANTS: info@constilio.com.au

**RTPI**  
Chartered Town Planner

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IMPORTANT NOTE!  
1. ALL OTHERS FOUNDATIONS AND BUILDINGS WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY, TO BE FULLY APPROVED BY BUILDING CONTROL, NOT BUILDING NOTICE.

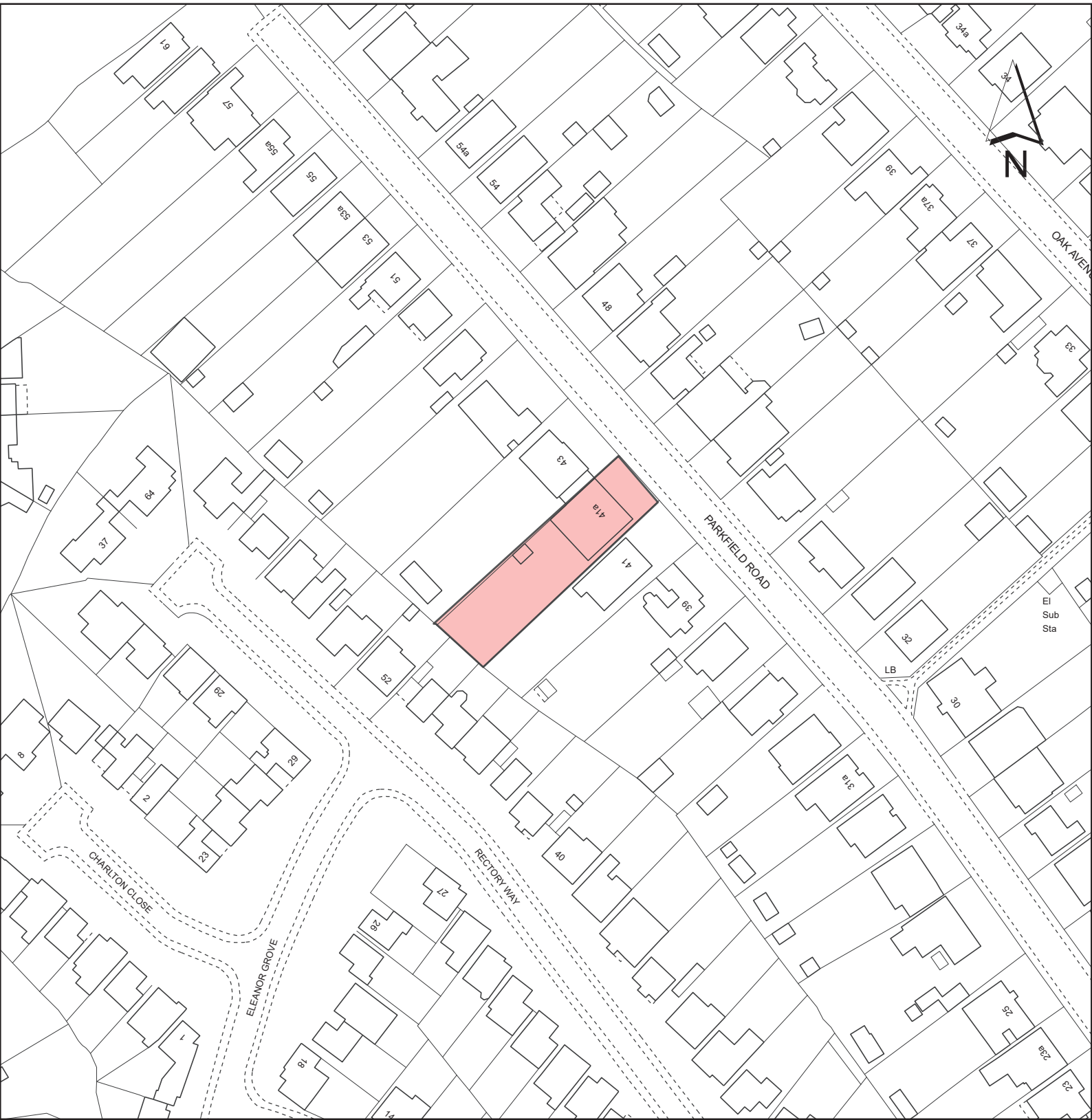
REVISION	DESCRIPTION	DATE



THIS DRAWING IS SUBJECT TO COMMENTATION AND REMOVAL OF THIS DRAWING WITHOUT REPERMISSION FROM CONSTILIO

DESCRIPTION:  
**REPLACEMENT DWELLING**

CLIENT / JOB ADDRESS:  
**41A PARKFIELD ROAD  
ICKENHAM  
UB10 8LW**

DRAWING TITLE		PLANNING APPLICATION	
SCALE	1:100, 1:500 & 1:1250	@ A1	STATUS
DATE	21/08/2024		CHECKED
JOB NO.	41-23-01		DRAWN
DWG NO.	PA-03		REVISION
			PA
			HM
			SG



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 41A Parkfield Road		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b> <b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright <b>© Crown copyright and database rights 2024 Ordnance Survey AC0000810857</b>	<b>PLANNING APPLICATION REFERENCE :</b> 38629/APP/2024/1155	<b>SCALE :</b> 1:1,250	
<b>PLANNING COMMITTEE :</b>		<b>DATE :</b> 12/03/2025	

## **Report of the Head of Development Management and Building Control**

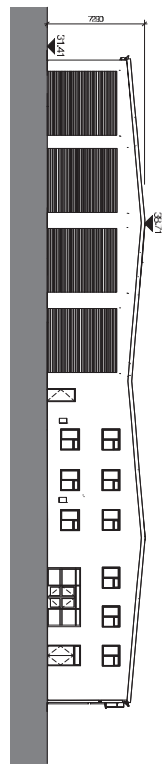
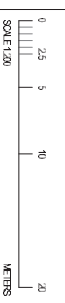
**Address:** UNIT 4, SILVERDALE INDUSTRIAL ESTATE SILVERDALE ROAD HAYES

**Development:** Demolition of the existing building and structures on site, and all other associated site clearance works. Construction of a data centre building (Class B8) with plant at roof level with an emergency generator (1no.) and associated flue (provided within an external compound adjoining the data centre building), sprinkler tank and pumphouse, security guard house, and provision of one kiosk substation and MV Building. The development also comprises the construction of a new access and internal road and circulation areas, footpaths, provision of car and bicycle parking, hard and soft landscaping and other associated works and ancillary site infrastructure (design amendment reconsultation 10.02.25 including increasing parapet height by 1.54m)

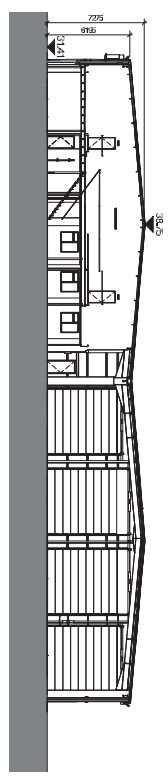
**LBH Ref Nos:** 49261/APP/2024/2904



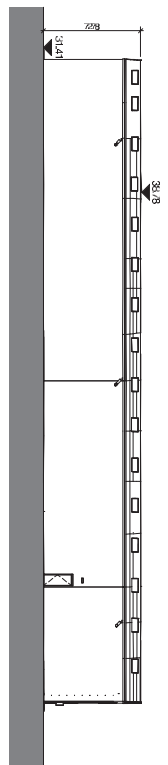




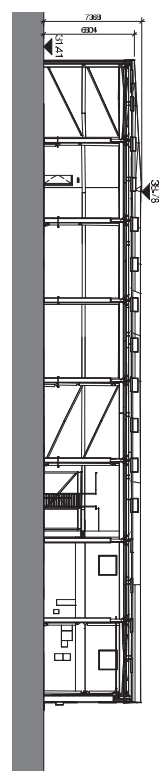
1 EXISTING BUILDING NORTH ELEVATION  
SCALE 1:200



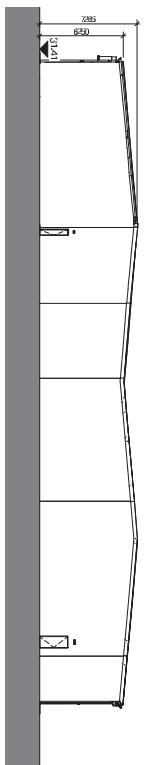
5 EXISTING BUILDING SECTION AA  
SCALE 1:200



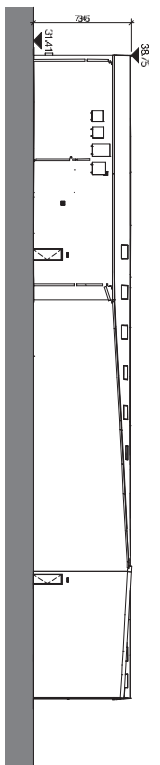
2 EXISTING BUILDING EAST ELEVATION  
SCALE 1:200



6 EXISTING BUILDING SECTION BB  
SCALE 1:200



3 EXISTING BUILDING SOUTH ELEVATION  
SCALE 1:200



4 EXISTING BUILDING WEST ELEVATION  
SCALE 1:200

REV.	NO.	DESCRIPTION	ISSUED BY
1	01	ISSUED FOR PERMIT	ARCHITECT

**CLIENT:** KEMAS  
**PROJECT:** KEMAS  
**SCALE:** 1:200  
**DATE:** 1/2020

**PROJECT:** KEMAS  
**SCALE:** 1:200  
**DATE:** 1/2020  
**REV. NO.:** 01  
**DESCRIPTION:** ISSUED FOR PERMIT  
**ISSUED BY:** ARCHITECT





3 KEMENTERIAN KEMENTERIAN

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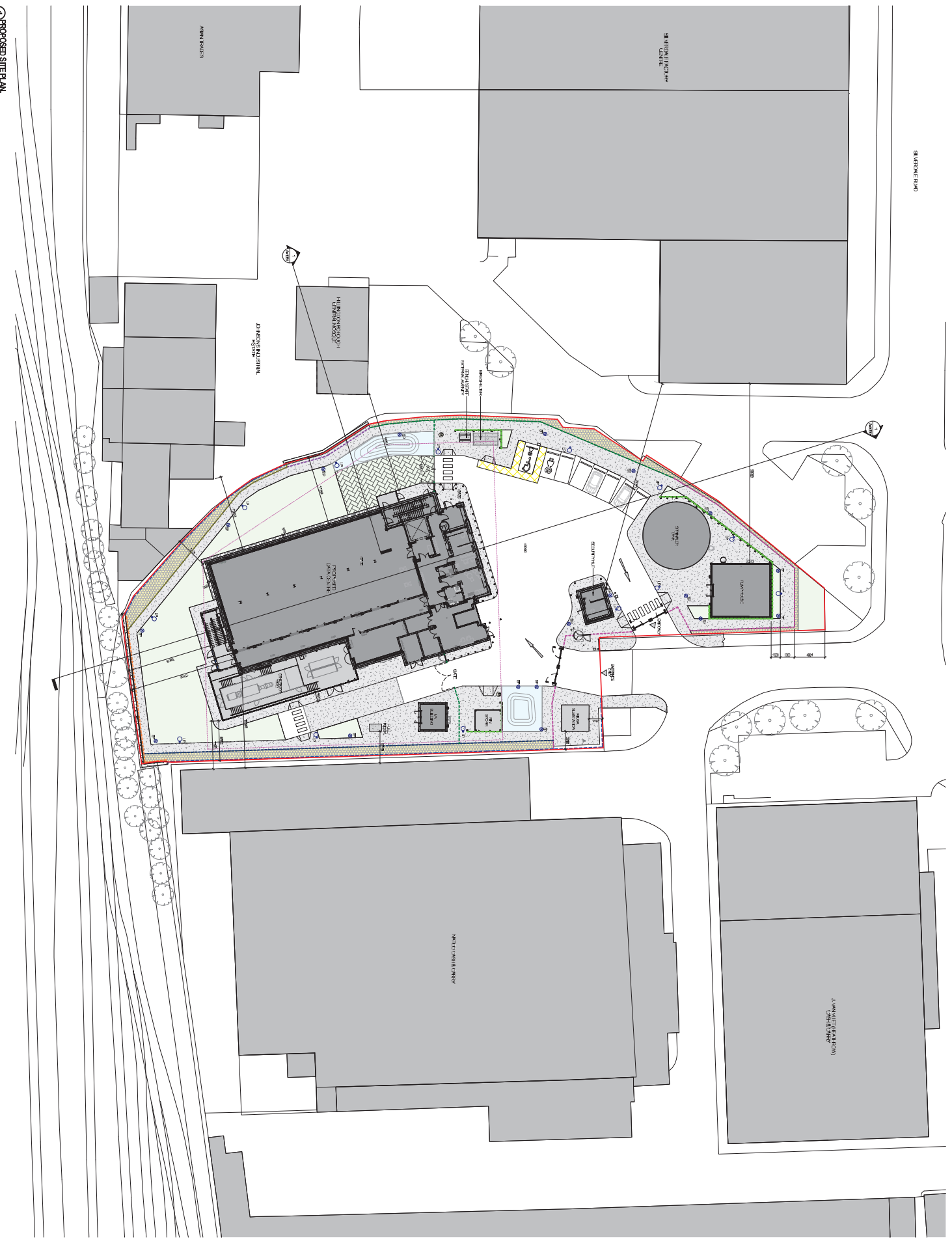
12 KEMENTERIAN KEMENTERIAN

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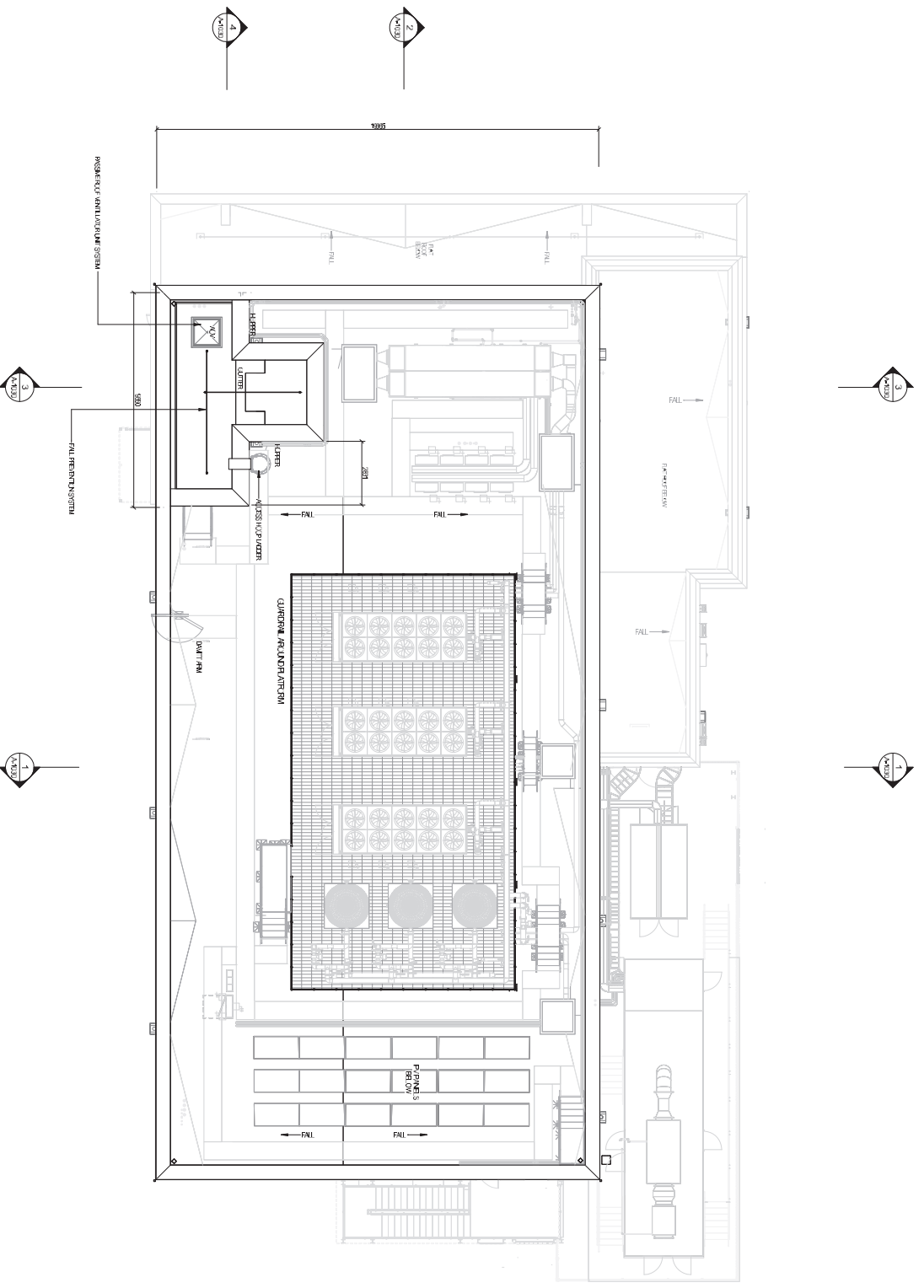
- 1. BLOK BANGUNAN
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**1 UPPER ROOF PLAN**  
Scale: 1:50



REV	DATE	BY	CHKD	DESCRIPTION
01	2024.05.10	JM	SM	ISSUED FOR PERMIT
02	2024.05.15	JM	SM	REVISED PER COMMENTS

PROJECT	DATA CENTRE
CLIENT	DATA CENTRE
ARCHITECT	DATA CENTRE
ENGINEER	DATA CENTRE
DATE	2024.05.10
SCALE	1:50
PROJECT NO.	DATA CENTRE
CLIENT NO.	DATA CENTRE
PROJECT NAME	DATA CENTRE
CLIENT NAME	DATA CENTRE
PROJECT ADDRESS	DATA CENTRE
CLIENT ADDRESS	DATA CENTRE
PROJECT CONTACT	DATA CENTRE
CLIENT CONTACT	DATA CENTRE
PROJECT PHONE	DATA CENTRE
CLIENT PHONE	DATA CENTRE
PROJECT EMAIL	DATA CENTRE
CLIENT EMAIL	DATA CENTRE
PROJECT WEBSITE	DATA CENTRE
CLIENT WEBSITE	DATA CENTRE
PROJECT SOCIAL MEDIA	DATA CENTRE
CLIENT SOCIAL MEDIA	DATA CENTRE

PROJECT NO.	DATA CENTRE
CLIENT NO.	DATA CENTRE
PROJECT NAME	DATA CENTRE
CLIENT NAME	DATA CENTRE
PROJECT ADDRESS	DATA CENTRE
CLIENT ADDRESS	DATA CENTRE
PROJECT CONTACT	DATA CENTRE
CLIENT CONTACT	DATA CENTRE
PROJECT PHONE	DATA CENTRE
CLIENT PHONE	DATA CENTRE
PROJECT EMAIL	DATA CENTRE
CLIENT EMAIL	DATA CENTRE
PROJECT WEBSITE	DATA CENTRE
CLIENT WEBSITE	DATA CENTRE
PROJECT SOCIAL MEDIA	DATA CENTRE
CLIENT SOCIAL MEDIA	DATA CENTRE

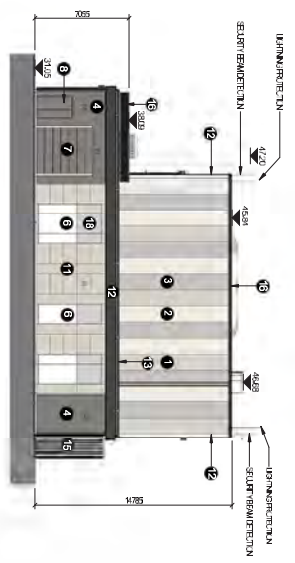




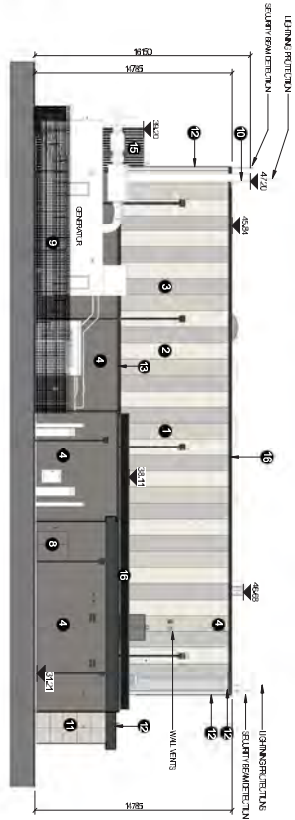
LEGEND

- LEGEND - EXTERNAL FINISHES**
- 1 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 2 LIGHT GRAY CERAMIC TILES (300x300) HORIZONTAL
  - 3 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 4 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 5 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 6 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 7 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 8 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
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  - 10 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 11 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 12 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 13 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 14 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 15 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 16 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 17 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 18 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 19 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL
  - 20 LIGHT GRAY CERAMIC TILES (300x300) VERTICAL & HORIZONTAL

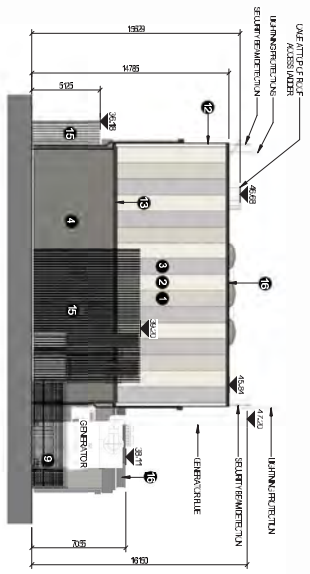
**1 NORTH ELEVATION**  
SCALE: 1:200



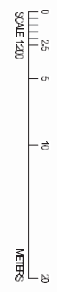
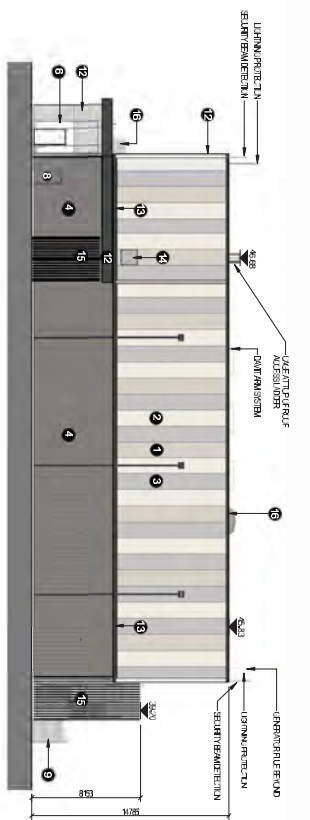
**2 EAST ELEVATION**  
SCALE: 1:200



**3 SOUTH ELEVATION**  
SCALE: 1:200



**4 WEST ELEVATION**  
SCALE: 1:200



REV.	DATE	DESCRIPTION	BY	CHK.
01	2024-01-15	ISSUED FOR PERMIT	AA	AA
02	2024-02-01	REVISED PER COMMENTS	AA	AA

NO.	DESCRIPTION	DATE
1	CONSTRUCTION	2024-03-01
2	OPERATIONAL	2024-03-01
3	MAINTENANCE	2024-03-01

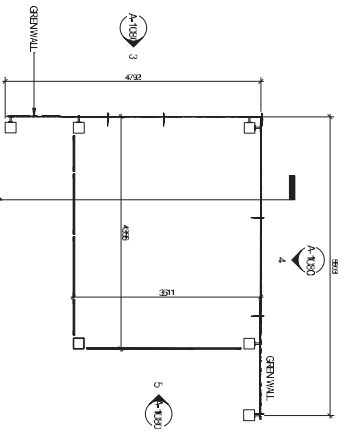
NO.	DESCRIPTION	DATE
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2	OPERATIONAL	2024-03-01
3	MAINTENANCE	2024-03-01

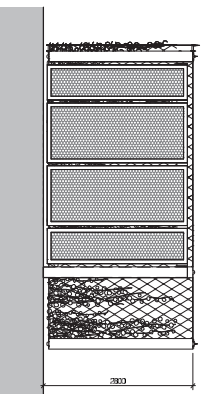
NO.	DESCRIPTION	DATE
1	CONSTRUCTION	2024-03-01
2	OPERATIONAL	2024-03-01
3	MAINTENANCE	2024-03-01

**DATA CENTRE PROPOSED ELEVATIONS**

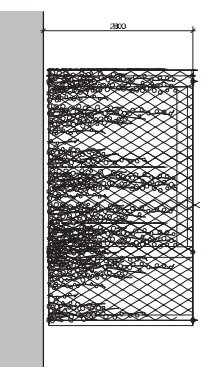
PROJECT NO.	60/000/000/000
DATE	2024-01-15
REV.	02



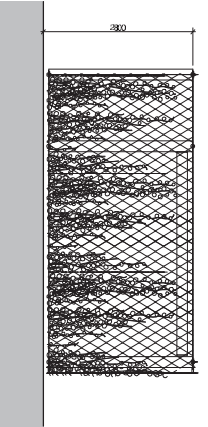
1 BIN STORE PLAN  
Scale: 1:50



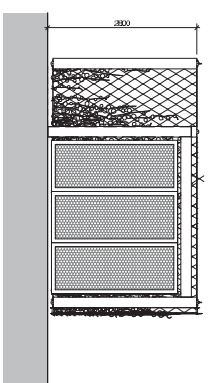
2 WEST ELEVATION  
Scale: 1:50



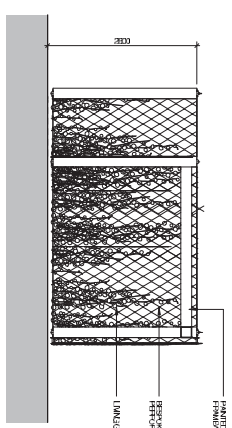
3 NORTH ELEVATION  
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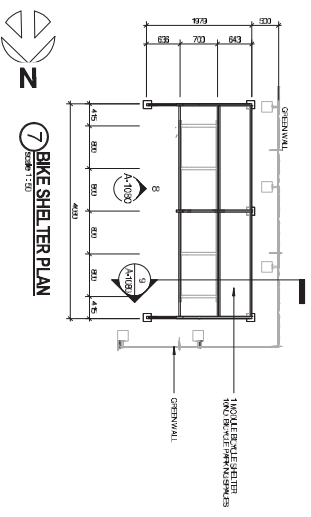
4 EAST ELEVATION  
Scale: 1:50



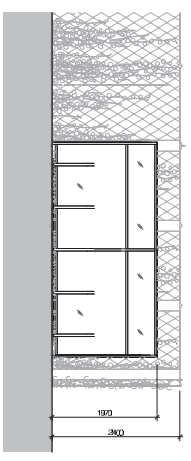
5 SOUTH ELEVATION  
Scale: 1:50



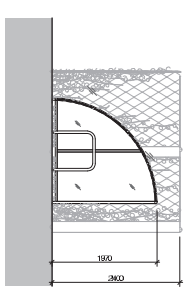
6 TYPICAL SECTION - BIN STORE  
Scale: 1:50



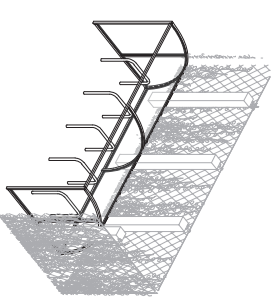
7 BIKE SHELTER PLAN  
Scale: 1:50



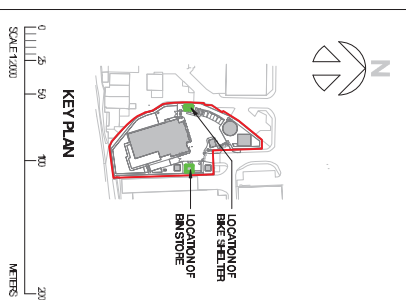
8 FRONT ELEVATION - BIKE SHELTER  
Scale: 1:50



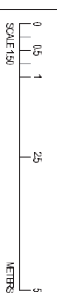
9 TYPICAL SECTION - BIKE SHELTER  
Scale: 1:50



10 BIKE SHELTER - 3D  
Scale: 1:50

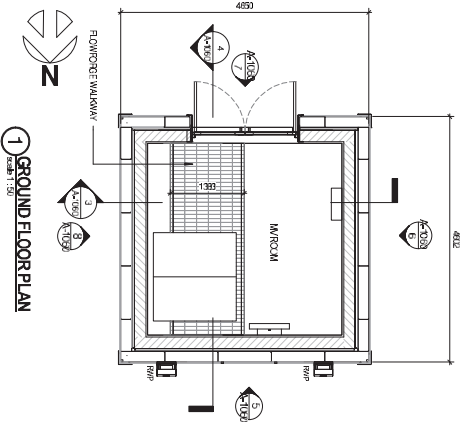


KEY PLAN

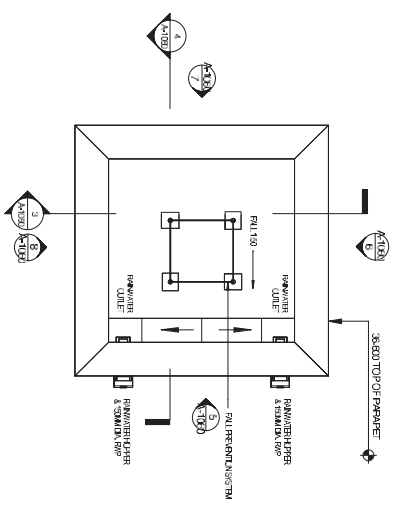


REV	NO.	DESCRIPTION	ISSUED DATE
1	01	ISSUED FOR PERMIT	12/12/2023
2	02	ISSUED FOR PERMIT	12/12/2023
3	03	ISSUED FOR PERMIT	12/12/2023
4	04	ISSUED FOR PERMIT	12/12/2023
5	05	ISSUED FOR PERMIT	12/12/2023
6	06	ISSUED FOR PERMIT	12/12/2023
7	07	ISSUED FOR PERMIT	12/12/2023
8	08	ISSUED FOR PERMIT	12/12/2023
9	09	ISSUED FOR PERMIT	12/12/2023
10	10	ISSUED FOR PERMIT	12/12/2023

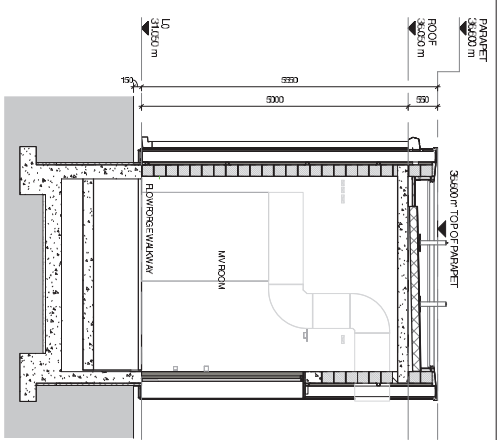
PROJECT	60/00/00/0000/000
SHEET NO.	A-1080
DATE	12/12/2023
SCALE	AS SHOWN
REV	P01



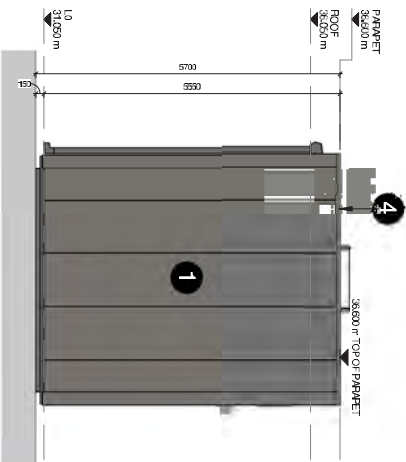
1 GROUND FLOOR PLAN  
Scale: 1:50



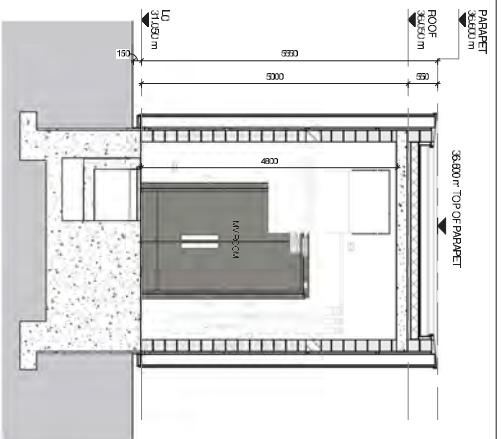
2 ROOF PLAN  
Scale: 1:50



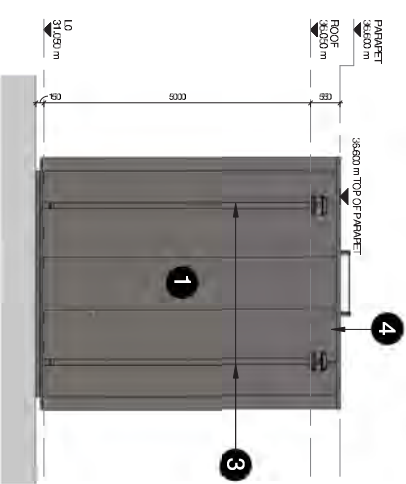
4 CROSS SECTION 2  
Scale: 1:30



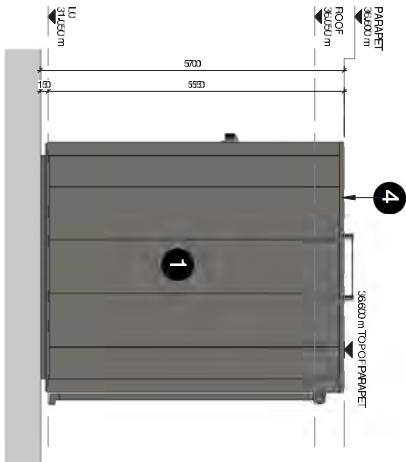
6 WEST ELEVATION  
Scale: 1:30



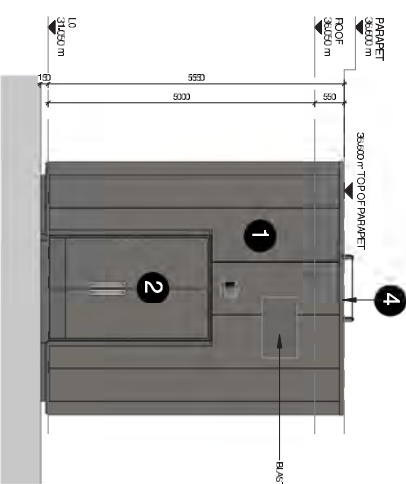
3 CROSS SECTION 1  
Scale: 1:30



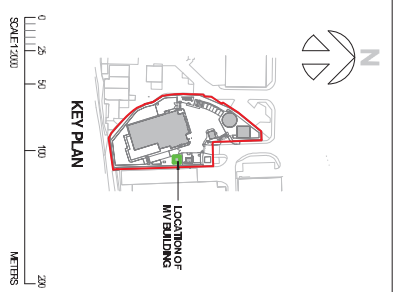
5 NORTH ELEVATION  
Scale: 1:30



8 EAST ELEVATION  
Scale: 1:30



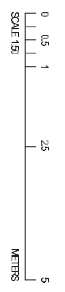
7 SOUTH ELEVATION  
Scale: 1:30



KEY PLAN

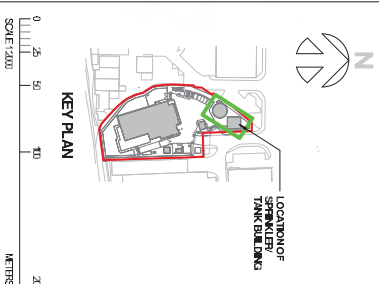
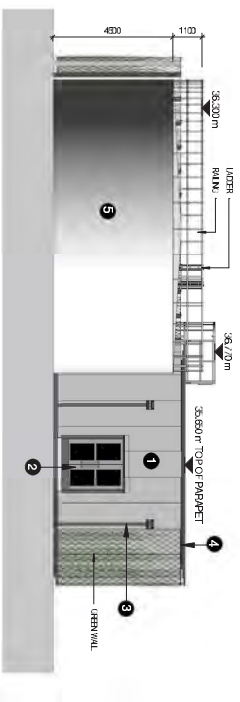
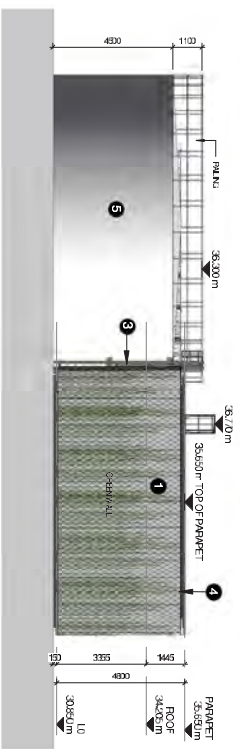
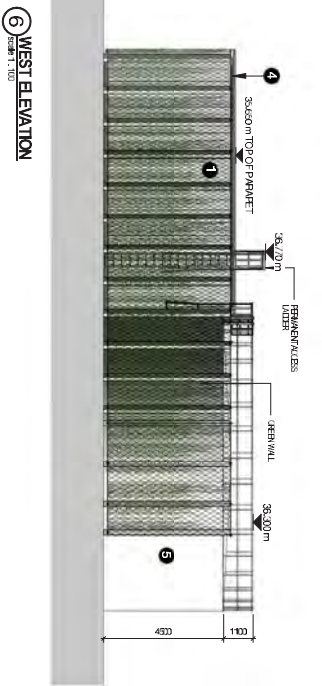
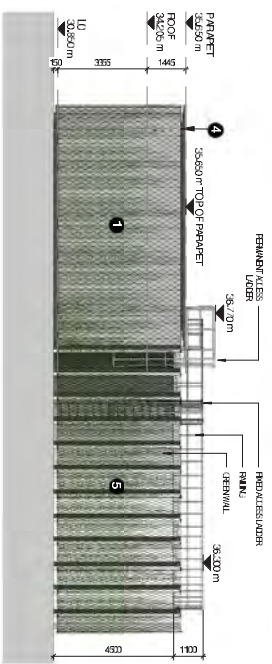
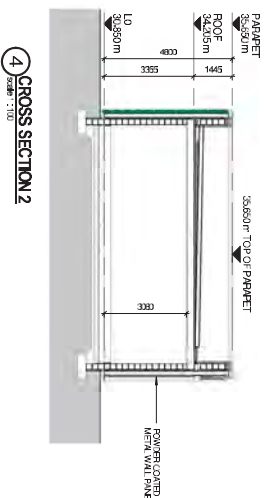
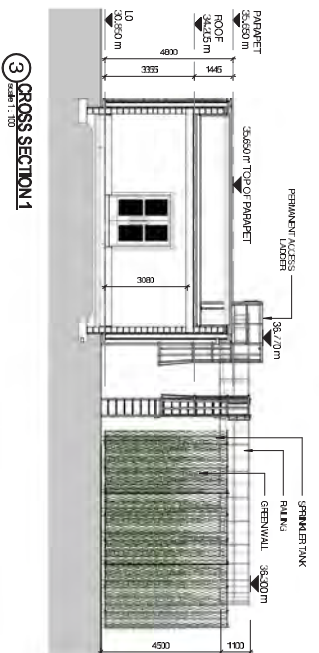
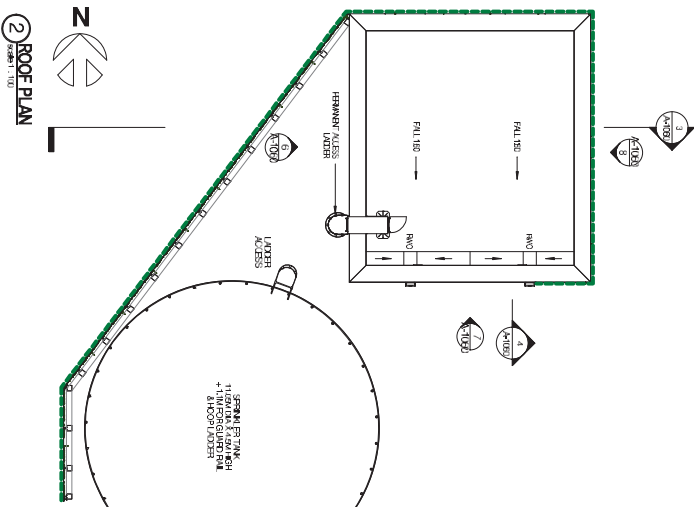
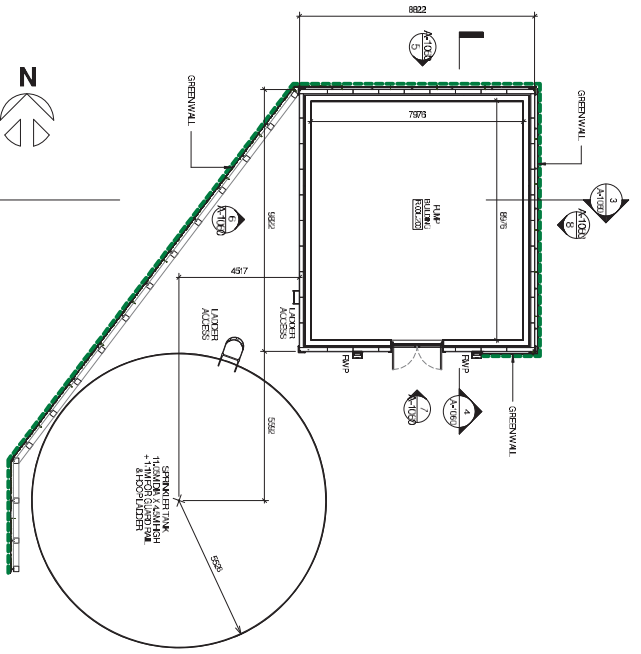
**MATERIAL LEGEND :**

- 1 NATURAL WALL PANEL, VENTILATED, CLAD (COLOUR:RAL 7001)
- 2 POWER-CONTROLLED GLASS WINDOW COOR (COLOUR:RAL 7001)
- 3 PFC PAN WATER PENETROK (COLOUR:RAL 7001)
- 4 PFC ALUMINIUM TRIM AND FINISHES (COLOUR:RAL 7001)



NO.	UNIT	DESCRIPTION	REMARKS
1	SQ. METRE	CONCRETE	
2	SQ. METRE	BRICKWORK	
3	SQ. METRE	PLASTER	
4	SQ. METRE	PAINT	
5	SQ. METRE	GLASS	
6	SQ. METRE	ALUMINIUM	
7	SQ. METRE	STEEL	
8	SQ. METRE	WOOD	
9	SQ. METRE	ROOFING	
10	SQ. METRE	MECHANICAL	
11	SQ. METRE	ELECTRICAL	
12	SQ. METRE	LANDSCAPE	
13	SQ. METRE	OTHER	

SHEET NO.	A-1060
PROJECT NO.	60/00/00/00/00/00
DATE	2024/01/01
SCALE	AS SHOWN
PREPARED BY	ARCHITECT
CHECKED BY	ARCHITECT
DATE	2024/01/01



**MATERIAL LEGEND:**

1. EXTERIOR WALL PANEL (VERTICAL) - CONCRETE (100)
2. POWER CONDUIT (30x30x3) - PVC (100)
3. SPRINKLER NETWORK - COOL (100)
4. PVC ALUMINUM ANGLE (90x90x5)
5. SPRINKLER TANK COVER (100)

SCALE: 1:100

0 1 25 50 100 METRES

**CONSTRUCTION**

ANY WORKS NOT SPECIFICALLY IDENTIFIED IN THE CONSTRUCTION DETAILS SHALL BE CONSIDERED TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	UNIT	DESCRIPTION	AMOUNT	UNIT PRICE	TOTAL
1	CONCRETE	CONCRETE (100)	100	100	10000
2	PVC	PVC (100)	100	100	10000
3	COOL	COOL (100)	100	100	10000
4	PVC	PVC (100)	100	100	10000
5	CONCRETE	CONCRETE (100)	100	100	10000

**GENERAL NOTES:**

1. ALL WORKS SHALL BE IN ACCORDANCE WITH THE SANS 10400 SERIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND STRUCTURES.

**PROJECT INFORMATION:**

PROJECT: KOVAI STATE APARTMENT

CLIENT: KOVAI STATE APARTMENT

DATE: 2024-10-27

SCALE: 1:100

SHEET NO: A-1060

DESIGNER: [Name]

DATE: 2024-10-27

SCALE: 1:100

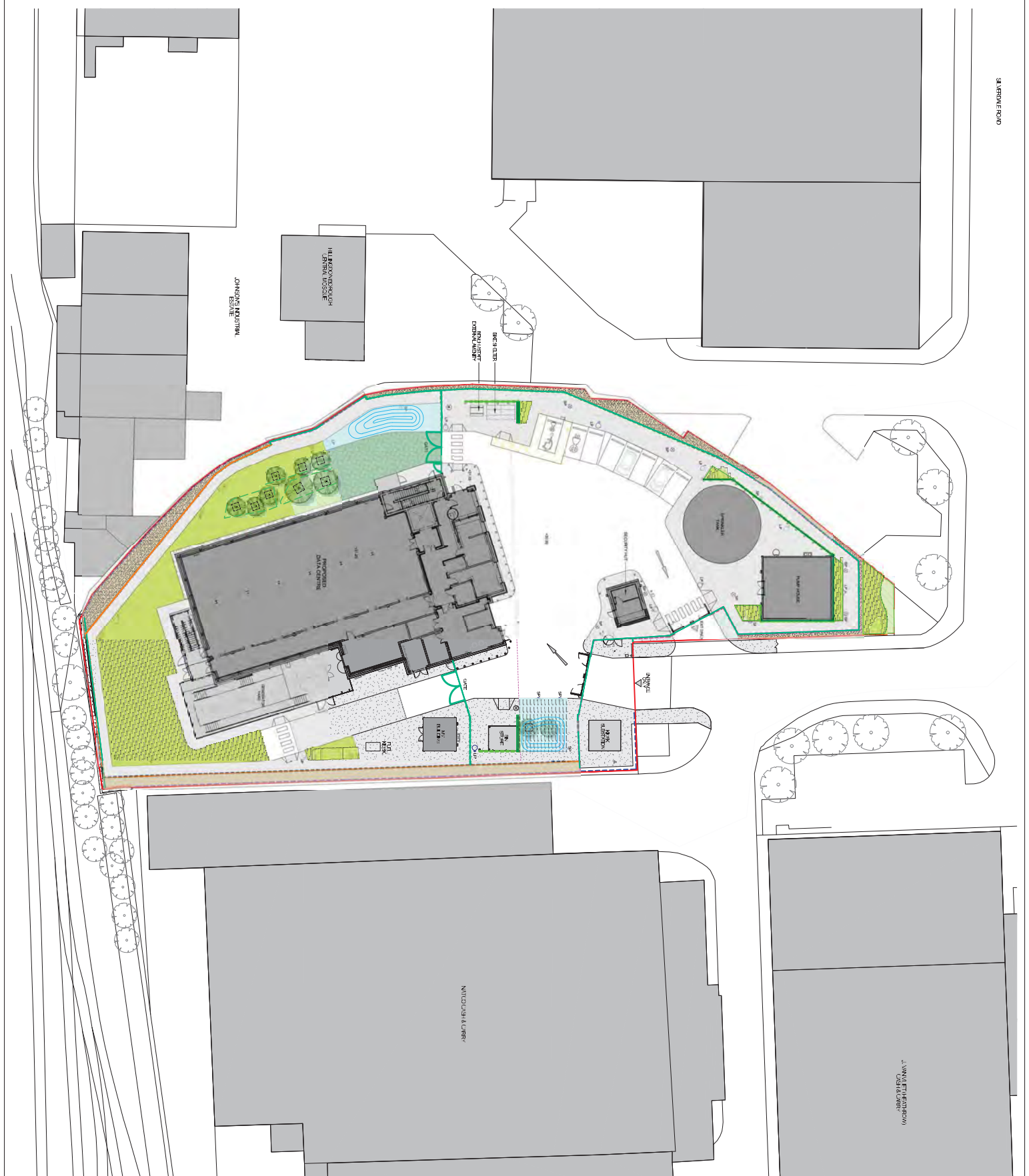
PROJECT: KOVAI STATE APARTMENT

CLIENT: KOVAI STATE APARTMENT

DATE: 2024-10-27

SCALE: 1:100





NOTES

LEGEND

[Red line]	SITE BOUNDARY
[Green line]	PROPOSED PERIMETER FENCE 2.4m HIGH
[Orange line]	PROPOSED PERIMETER FENCE 3.0m 4.0m HIGH
[Blue hatched]	PARKING TO EXISTING CAR PARK
[Green hatched]	GRASS SEEDING
[Tree symbol]	PROPOSED TREE
[Green hatched]	EXISTING TREE
[Blue hatched]	PARK CARPARK PAVING STRIPS AND HERBICIOUS MIX
[Light green hatched]	PROPOSED TO EXIST AND LOW MAINTENANCE GRASS MIX PLANTING
[Dark green hatched]	MEADOW MIX WITH HERBICIOUS PLANTING AND BULBS
[Green hatched]	LINNS WALL & GREEN SCREEN

CONTRACTOR

REV	DATE	DESCRIPTION	ISSN	ENG	CHK	APP
01	10/02/2024	ISSUE FOR PERMITTING	10	10	10	10
02	10/02/2024	ISSUE FOR PERMITTING	10	10	10	10

CONTRACTOR

NO	DATE	DESCRIPTION	ISSN	ENG	CHK	APP
01	10/02/2024	ISSUE FOR PERMITTING	10	10	10	10
02	10/02/2024	ISSUE FOR PERMITTING	10	10	10	10

PROJECT: UNIT 1, 5A VERSALE INDUSTRIAL ESTATE, HANES

TITLE: LANDSCAPE PLAN

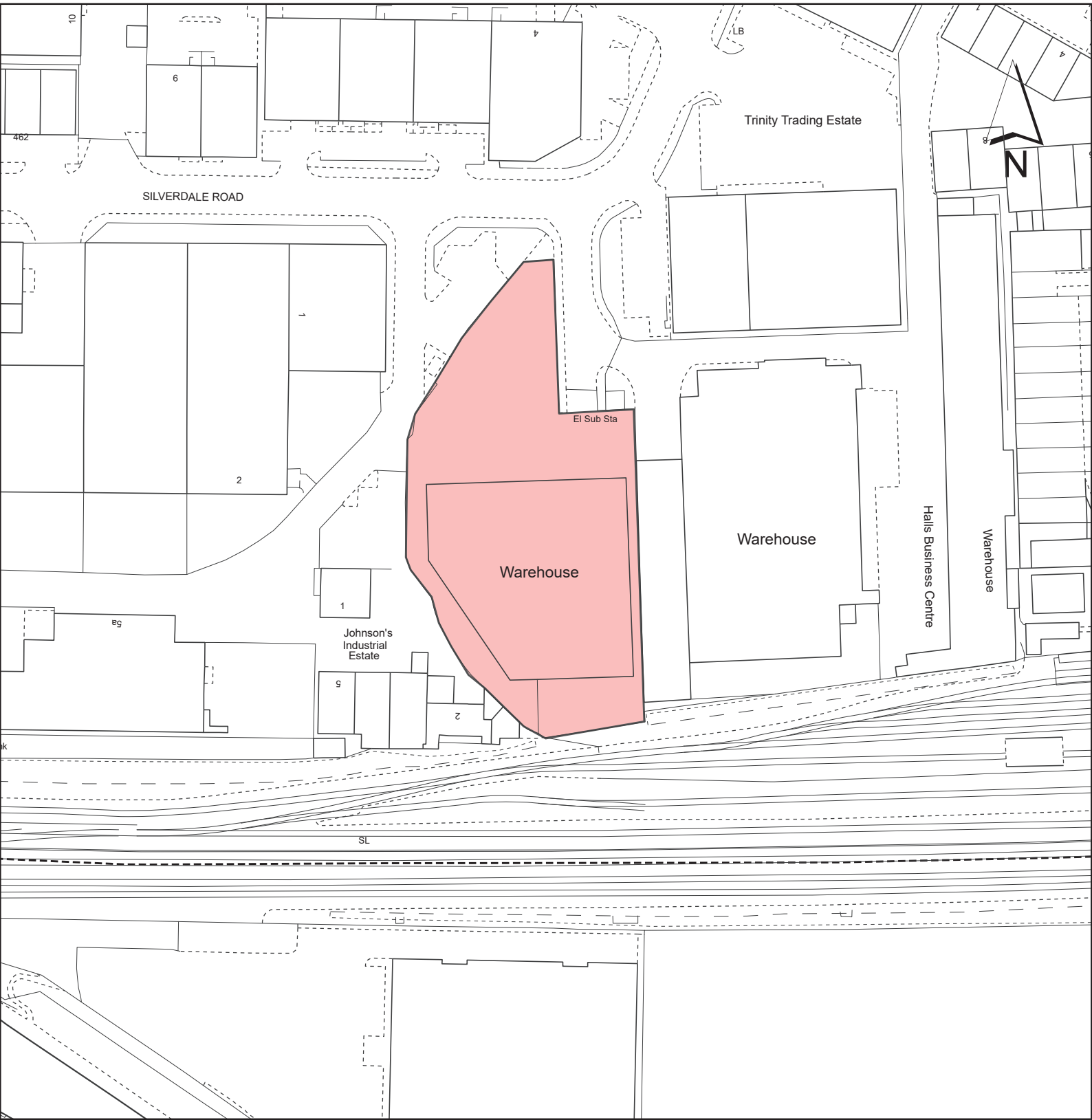
DRAWING: 600-ED-00-XX-PRJ-1-100



DATE: 10/02/2024

SCALE: 1:500

PROJECT NO: 600-ED-00-XX-PRJ-1-100

REV: 01



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> UNIT 4 SILVERDALE INDUSTRIAL ESTATE		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright © Crown copyright and database rights 2024 Ordnance Survey AC0000810857	<b>PLANNING APPLICATION REFERENCE :</b> 49261/APP/2024/2904	<b>SCALE :</b> 1:1,250	<b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b>
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 12/03/2025	

**Report of the Head of Development Management and Building Control**

**Address:**

27 WILTSHIRE LANE

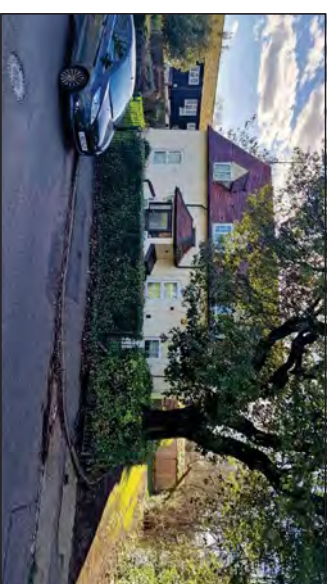
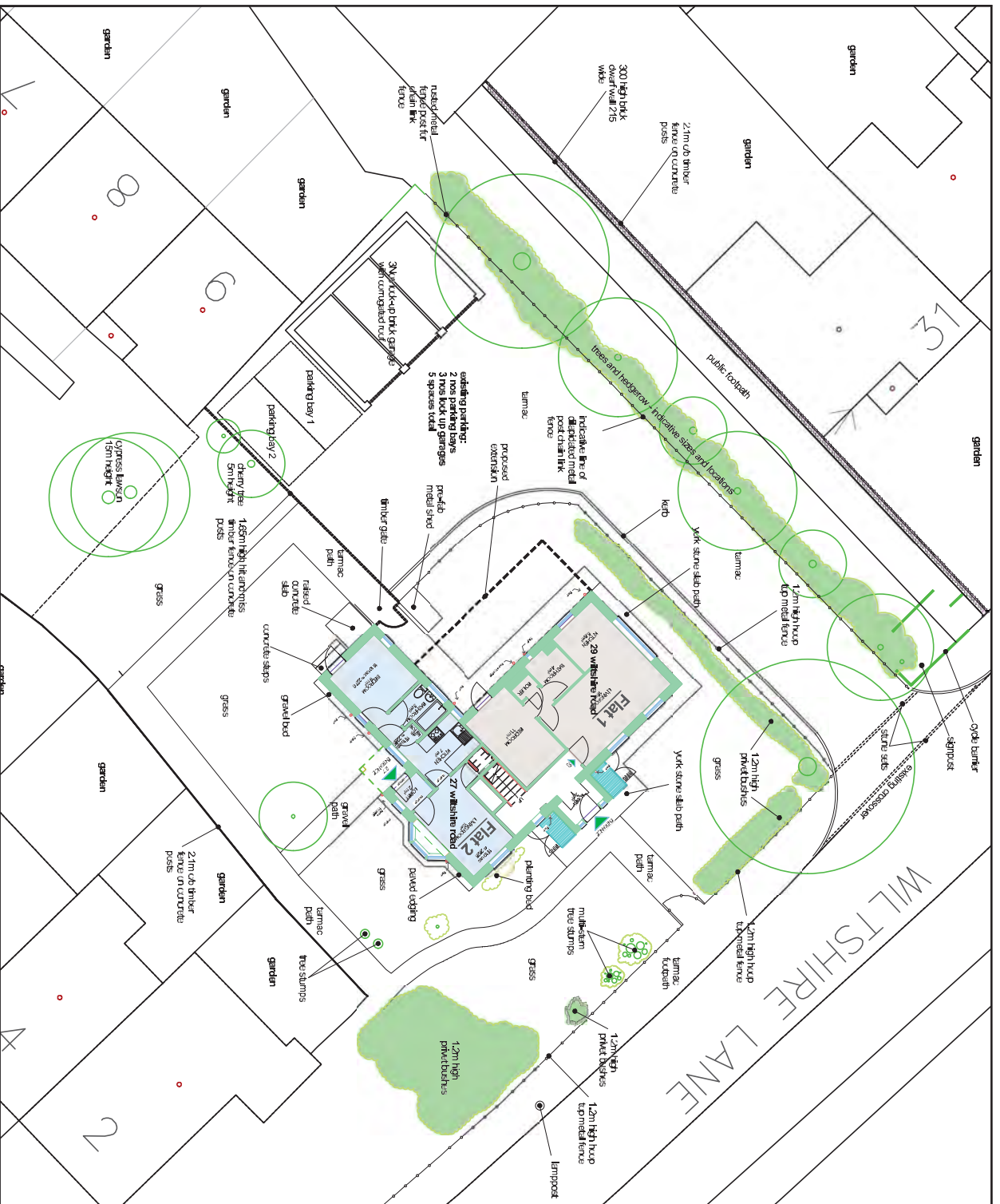
**Development:**

Proposed demolition of the existing block of 3 garages, conversion of the existing locally listed flatted house into 2 houses with single storey rear extension, new dropped kerb and all associated parking provision and external works.

**LBH Ref Nos:**

79205/APP/2024/3177





Rev	Revisions	Issued	Date


  
**HILLINGDON**
  
 LONDON

PLACE DIRECTORATE  
 CAPITAL PROGRAMME WORKS SERVICE  
 4N, CIVIC CENTRE, UXBROOK, UB8 3JW  
 Tel: 01895 250 111  
 www.hillingdon.gov.uk

27-29 WILTSHIRE LANE, PINNERS, HA5 2LY

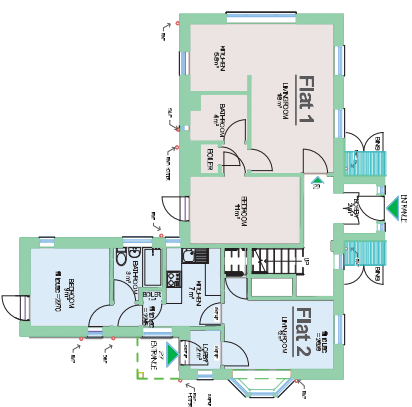
DESCRIPTION

EXISTING SITE PLAN AND PHOTOGRAPHS

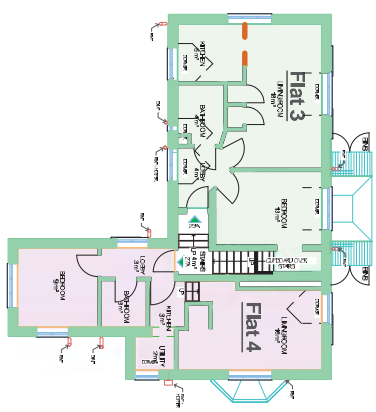
SCALE DRAWING DATE  
 1:200 @ A3 15/09/2024  
 DRAWINGS SV OCT 2024  
 2024/D/352/P/02 REV

**SUB-STANDARD FLAT AREAS:**  
 Flat 1 - 1 bed at 41.6m<sup>2</sup>  
 Flat 2 - 1 bed at 36.5m<sup>2</sup>  
 Flat 3 - 1 bed at 44.8m<sup>2</sup>  
 Flat 4 - 1 bed at 37.2m<sup>2</sup>  
**TOTAL GIA = 183.3m<sup>2</sup>**

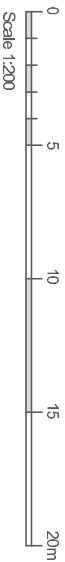
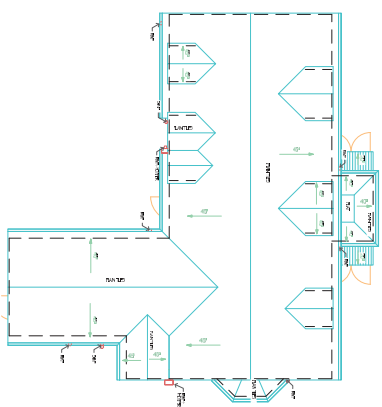
**Ground Floor**  
 GIA = 92.6m<sup>2</sup>




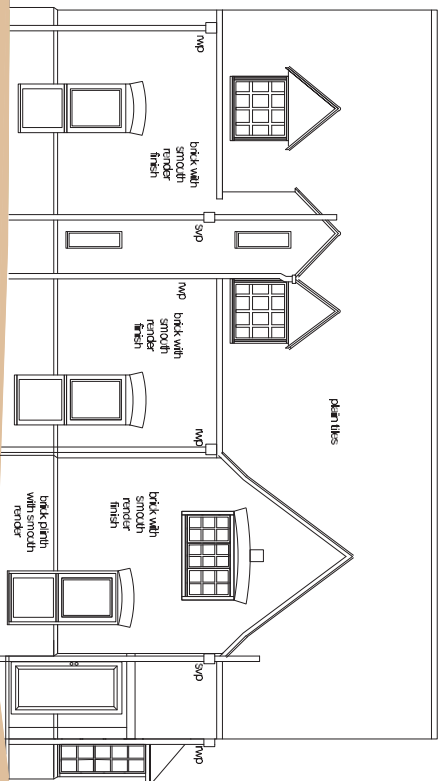
**First Floor**  
 GIA = 90.7m<sup>2</sup>



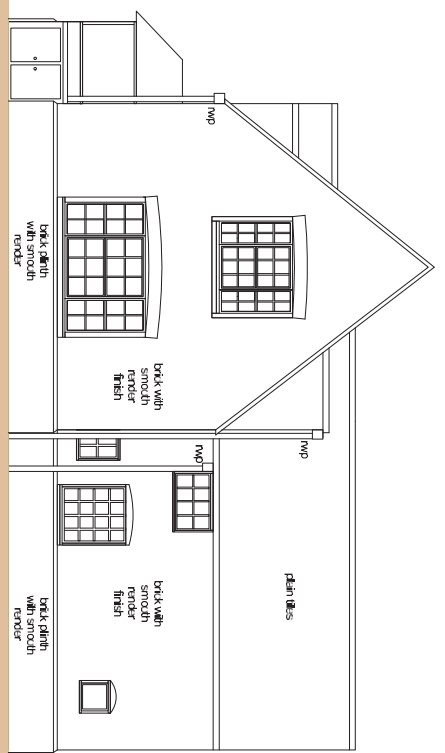
**Roof Plan**



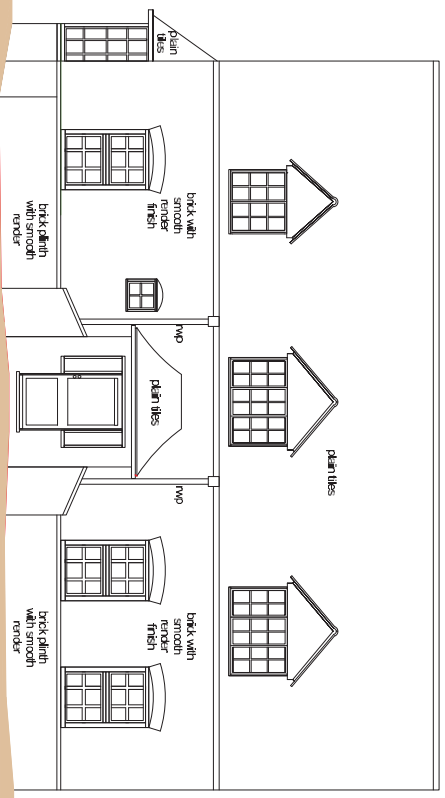
Rev	DESCRIPTIONS	DATE	BY
1		19/08/2024	DBP
 <p>PLACE DISCREET          CAPITAL PROGRAMME WORKS SERVICE          4th CIVIC CENTRE, URBIDGE, UB8 3UW          Tel: 01895 250 111  <a href="http://www.hillingdon.gov.uk">www.hillingdon.gov.uk</a></p>			
PROJECT: 27-29 WILTSHIRE LANE, PINNERS, HA5 2LY			
DESCRIPTION: EXISTING FLOOR PLANS AND ROOF PLAN			
SCALE: DRAWN BY: CHECKED BY: DATE: 1:200 @ A3 WY SV NOV 2024	DRAWINGS NO: 2024/D/352/P/04 REV:		



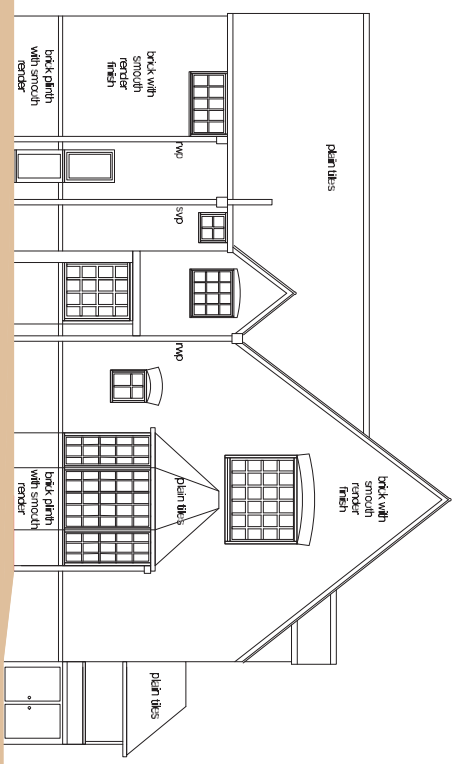
SOUTH WEST ELEVATION



NORTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH EAST ELEVATION



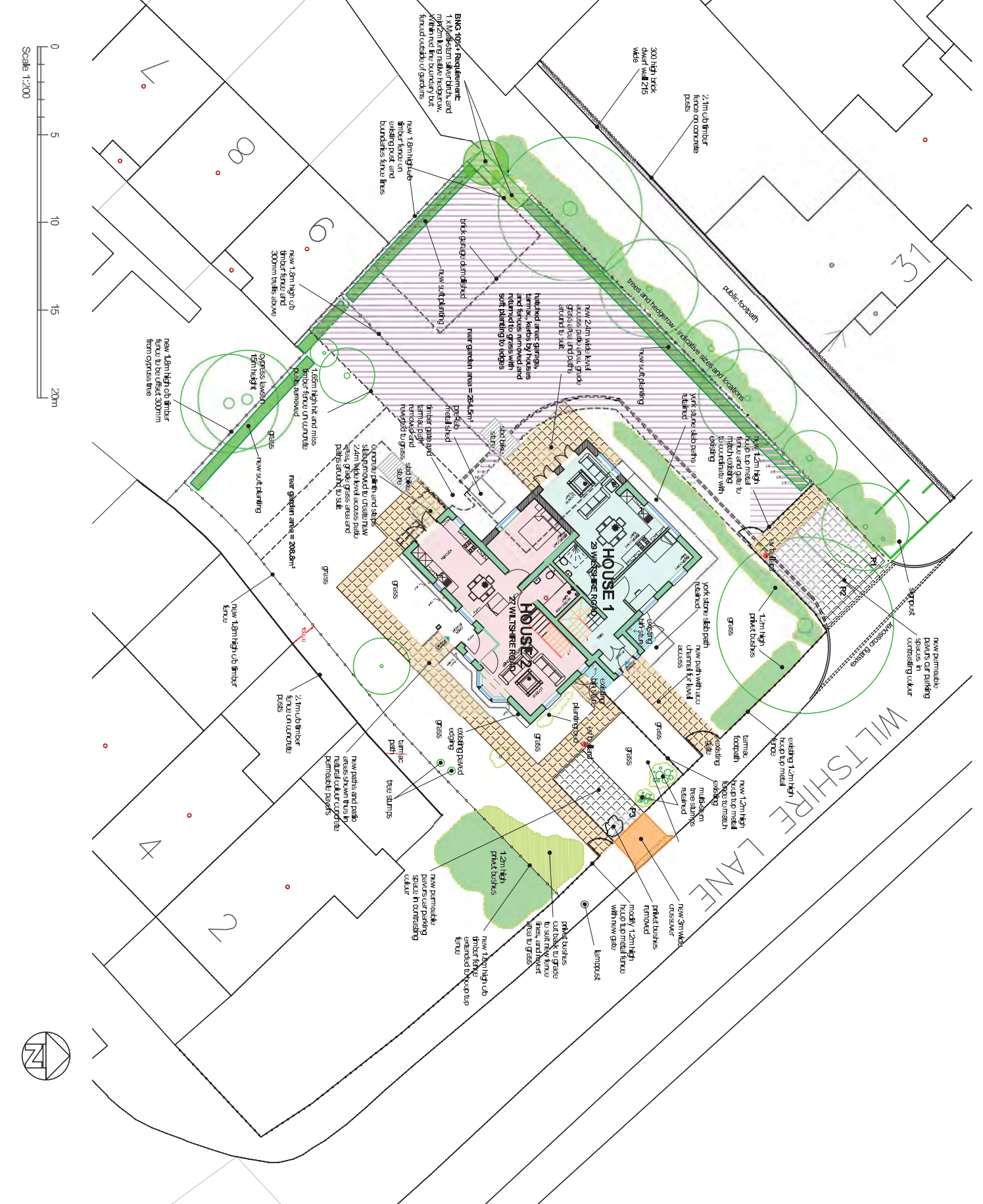
Rev	Description	Date
1	Issue for planning	18/08/2024
2	Issue for construction	18/08/2024

**HILLINGDON**  
LONDON

PLACE DIRECTORATE  
CAPITAL PROGRAMME WORKS SERVICE  
4th FLOOR, CIVIC CENTRE, UXBRIDGE, UB8 3PH  
Tel: 01895 250 111  
www.hillingdon.gov.uk

27-29 WILTSHIRE LANE, PINNERS, HA5 2LY

DESCRIPTION	DATE
EXISTING ELEVATIONS	01/01/2024
SCALE	1:100 @ A3
DRAWINGS	SV
PROJECT	2024/D/352/P/05
REV	A



**Schedule of Accommodation**

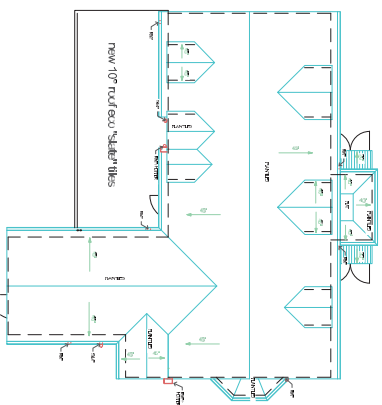
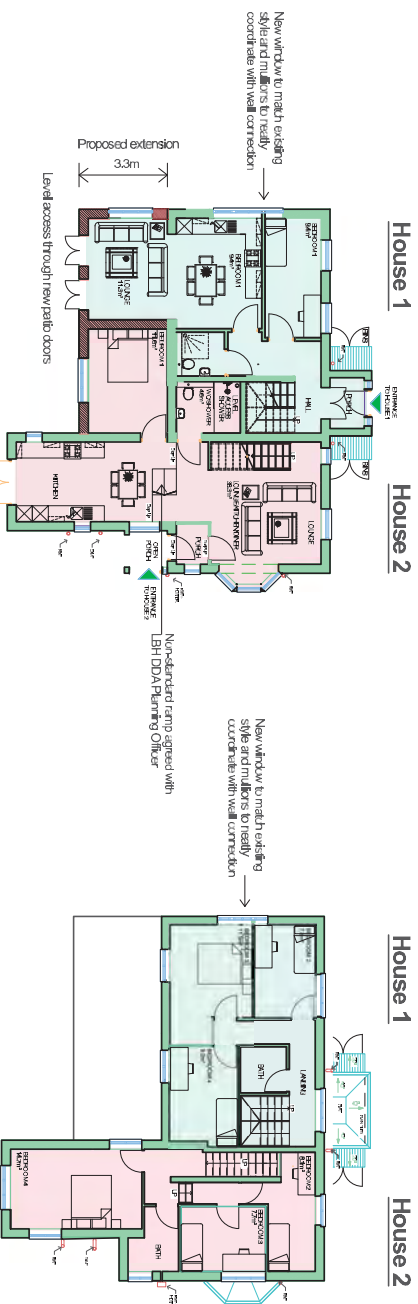
- House 1**
- 4 bed 5 person house @
- GIA - 98.2m<sup>2</sup>
- Rear Garden @ 265.5m<sup>2</sup>
- 2 car spaces
  
- House 2**
- 4 bed 6 person house @
- GIA - 107.6m<sup>2</sup>
- Rear Garden @ 208.8m<sup>2</sup>
- 1 car parking space (dda adaptable)


PLACE DIRECTORATE CAPITAL PROGRAMME WORKS SERVICE 4th FLOOR, CIVIC CENTRE, UXBROOK, UB8 3UW Tel: 01895 250 111 <a href="http://www.hillingdon.gov.uk">www.hillingdon.gov.uk</a>	
PROJECT: 27-29 WILTSHIRE LANE, PINNER, HA5 2LY	
DESCRIPTION: EXISTING SITE PLAN	
DATE: 12/02/25 DRAWN BY: M.V. CHECKED BY: S.V. DATE: OCT 2024 DRAWING NO: 2024/D/352/P/03	REV: A

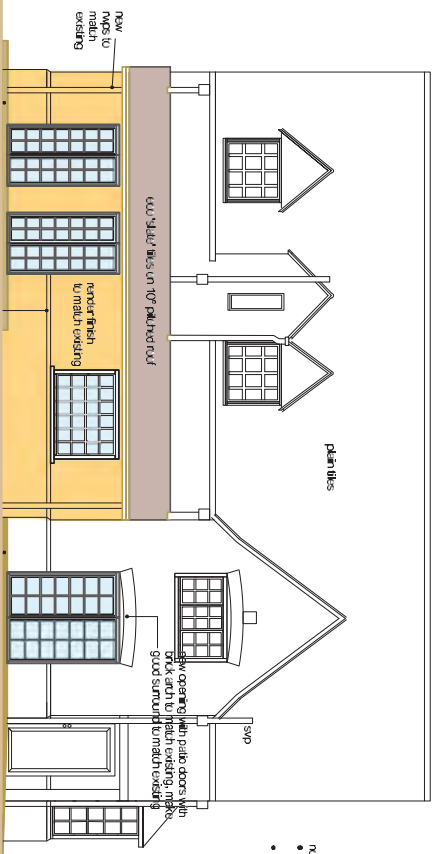
**Schedule of Accommodation**

**House 1**  
 4 bed 5 person house @  
 GIA - 98.2m<sup>2</sup>  
 Rear Garden @ 265.5m<sup>2</sup>  
 2 car spaces

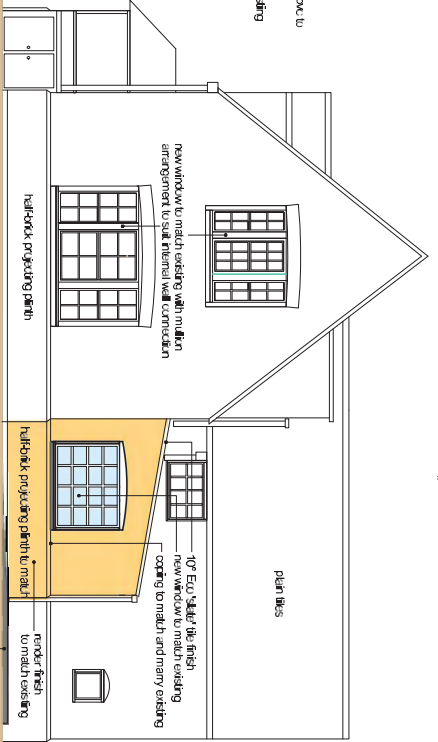
**House 2**  
 4 bed 6 person house @  
 GIA - 107.6m<sup>2</sup>  
 Rear Garden @ 208.8m<sup>2</sup>  
 1 car parking space (dda adaptable)



NO.	REVISIONS	DATE	BY
			
PLACE DIRECTORATE CAPITAL PROGRAMME WORKS SERVICE 4N, CIVIC CENTRE, URBIDGE, UB8 3UW Tel: 01895 250 111 www.hillingdon.gov.uk			
PROJECT			
27-29 WILTSHIRE LANE, FINNER, HA5 2LY			
DESCRIPTION			
PROPOSED PLANS			
SCALE	DRAWN BY	CHECKED BY	DATE
1:200 @ A3	MM	SV	01 OCT 2024
DRAWINGS NO.	REV.		
2024/D/352/P/06			

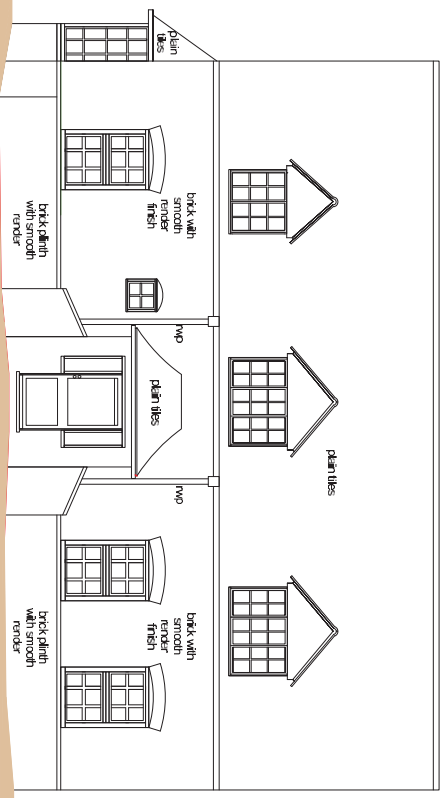


- rules:
- all new doors and windows are upc to match existing
  - all new doors, windows, iron gates and all rainwater goods are to match existing upc.

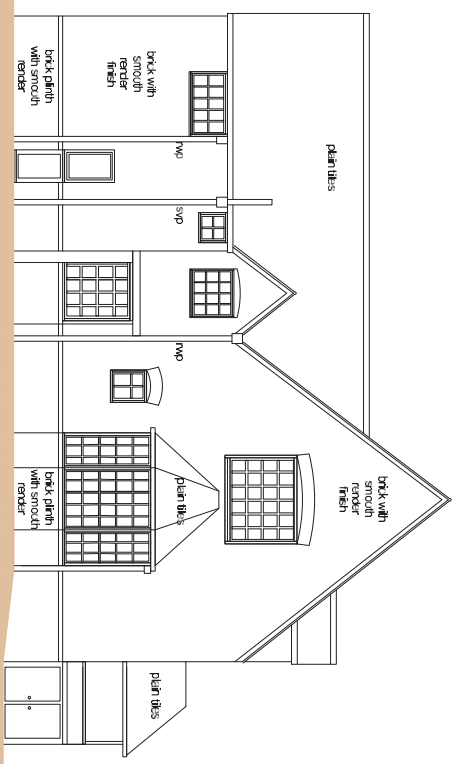


### SOUTH WEST ELEVATION

### NORTH WEST ELEVATION

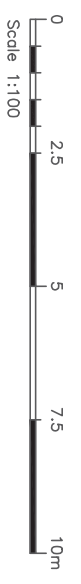


- rules:
- all existing doors and windows are upc
  - all new doors, windows, iron gates and all rainwater goods are to match existing elevations



### NORTH EAST ELEVATION (AS EXISTING - NO CHANGE)

### SOUTH EAST ELEVATION (AS EXISTING - NO CHANGE)

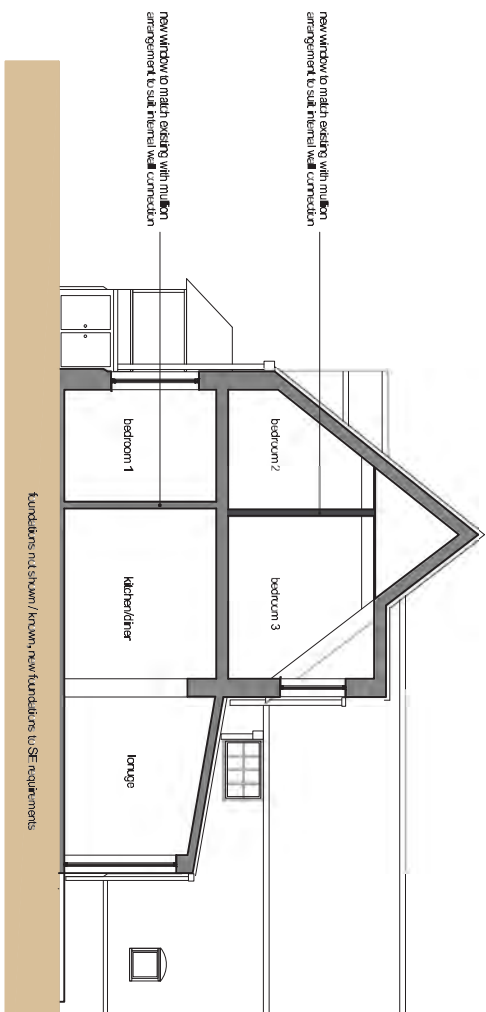


Rev	A	15/04/2024	19/08/2023
Revised by	19/08/2023	19/08/2023	19/08/2023

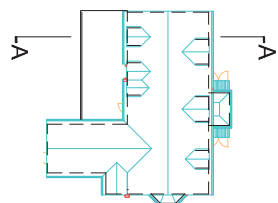
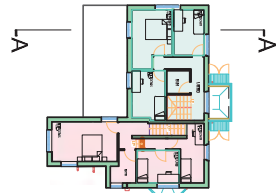
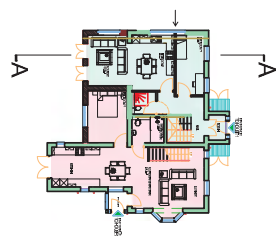
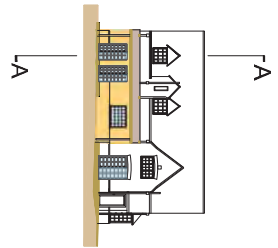
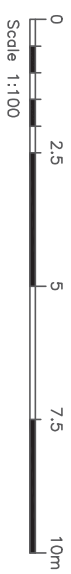
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CAPITAL PROGRAMME WORKS SERVICE  
4th FLOOR, CIVIC CENTRE, UXBRIDGE, UB8 3JW  
Tel: 01895 250 111  
www.hillingdon.gov.uk

DESCRIPTION	27-29 WILTSHIRE LANE, PINNERS, HA5 2LY
PROPOSED ELEVATIONS	
SCALE	1:100 @ AS
DRAWINGS	NOV 2023
DATE	NOV 2023
REV	A



SECTION A-A - SCALE 1:100 @ A3



SECTION A-A - KEY - NTS



REV	DESCRIPTION	DATE	BY

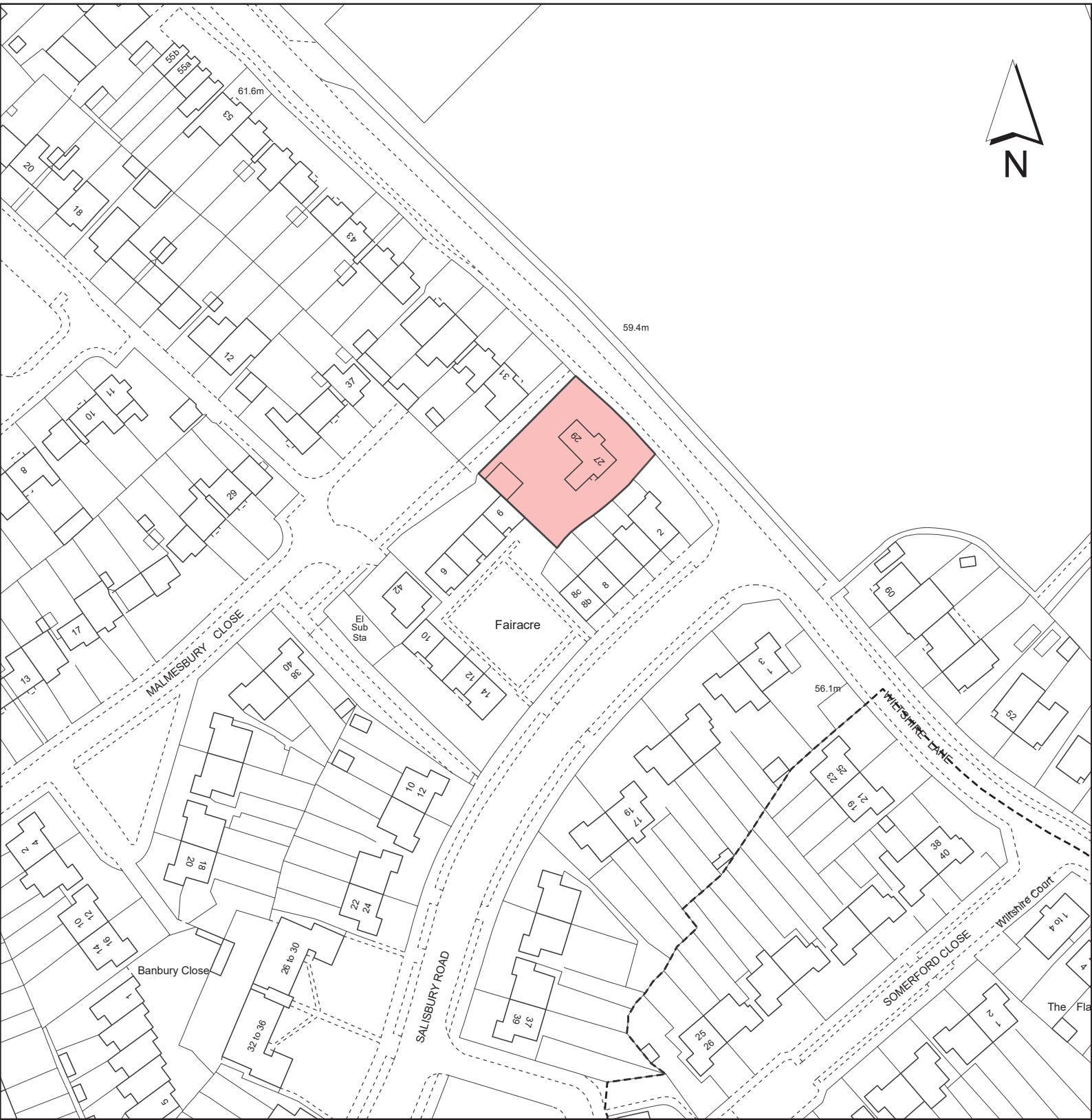
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PROJECT: 27-29 WILTSHIRE LANE, PINNERS, HA5 2LY

PROPOSED SECTIONS

SCALE	ISSUED BY	CHECKED BY	DATE
1:100 @ A3	LB	SV	NOV 2024
2024/D/352/P/08			



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b>  27 Wiltshire Lane		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b>  12/03/2025	