

Report of the Head of Development Management and Building Control Committee Report

Case Officer: **Katherine Mills**

58215/APP/2025/1068

Date Application Valid:	11.04.25	Statutory / Agreed Determination Deadline:	03.10.25
Application Type:	Full	Ward:	Eastcote

Applicant: **Mr Porter**

Site Address: **Acorn Youth Club, Colombia Avenue, Ruislip**

Proposal: **Erection of a single storey detached building for use by Acorn Youth Club.**

Summary of Recommendation: **GRANT planning permission subject to conditions**

Reason Reported to Committee: **Required under Part 6 of the Planning Scheme of Delegation (the Council has a financial liability)**



Summary of Recommendation:

GRANT planning permission subject to the conditions set out in Appendix 1.

1 Executive Summary

- 1.1 Planning permission is sought for the installation of a single storey building for the use of Acorn Youth Club.
- 1.2 The freehold of the application site is owned by the London Borough of Hillingdon. Therefore, whilst the Council is not the applicant, for transparency and in accordance with the Council's scheme of delegation, the application is referred to the Planning Committee for determination.
- 1.3 The proposed development is considered to comply with the objectives of the relevant planning policies. The Acorn Youth Club has been an established community facility for disabled young people in Ruislip and have operated from the application site since 1993. The current application seeks to improve the facilities associated with this community use. It is noted that a previous planning permission was obtained in 2006 (58215/APP/2006/1997) for the erection of a larger scale building. Although the building works for this building had commenced with the laying of foundations, it was never completed due to financial reasons.
- 1.4 The current application seeks to utilise the existing foundations on site and provide a much-needed community facility within the existing grounds. The overall scale and size of the building would be modest. This would ensure that it would not give rise to any significant harm to the character and appearance of the application property or to the character and appearance of the immediate street scene and surrounding area.
- 1.5 The unique location with a buffer of landscaping separating the residential properties on Linden Avenue from the site, and Columbia Avenue Field providing a buffer from other nearby residents, would ensure that the building would have an acceptable impact on neighbouring residential amenity and would not adversely affect highway safety, or cause harm in other respects. The Highways Team have been consulted and raised no objections to the proposal.
- 1.6 Due regard has been given to resident objections. However, it is concluded that the proposal complies with the Development Plan and no material considerations indicate that a contrary decision should be taken.
- 1.7 The planning application is therefore recommended for approval subject to the conditions set out in Appendix 1.

2 The Site and Locality

- 2.1 The application site is occupied by a single-storey purpose-built youth club in the north-west corner of the open space at Columbia Avenue. This area is mainly

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close mown grass, but there are belts of mature trees along the northern boundary and parts of the west boundary which are a distinctive feature in the area. These trees are protected by Tree Preservation Order (TPO) No. 327. The groups of trees immediately to the north and south of the building are G5 and G6 on the TPO No. 327 schedule.

- 2.2 Surrounding the existing youth-club, the area is predominantly residential in character. Residential dwellings along Linden Avenue are situated to the west of the application site, with numbers 140 and 179 Linden Avenue sharing a boundary with the application site. To the east and south of the application site is an area of public open space (Columbia Avenue Field) with other residential dwellings sited around the edges. To the north of the application site lies the railway line.
- 2.3 The application site is not designated within a Conservation Area nor an Area of Special Local Character. There are no Listed Buildings within the site or surrounding land. The application site is located within a Critical Drainage Area, as identified in the Surface Water Management Plan (SWMP) for Hillingdon.

Figure 1: Location Plan (application site edged red).



Figure 2: Street View Image of the Application Property.



Figure 3: Street view in the context of the wider neighbouring properties (on Linden Avenue). The existing community building can be seen in this image.



Figure 4: Photo from Columbia Avenue Field showing the existing security railings securing the building and the nearby residences along Linden Avenue.



Figure 5: Nearest residential properties across Columbia Avenue Field.



3 Proposal

- 3.1 The application seeks planning permission for the installation of a single storey building for the use of Acorns Youth Centre. The proposed building would have a width of 10.7m, a depth of 11.5m and would have a mono-pitched roof with a maximum height of 3.45m and an eaves height of 2.95m.
- 3.2 The proposed building would be finished with composite cladding (fire rated) with aluminium framed windows. The proposed building would be located to the south of the existing building and would be sited within the existing railings surrounding the application site. As previously noted, planning permission had commenced on a previously approved community building with the foundations in place. The proposed building would therefore be using the existing foundations from the previous scheme.

Figure 6: An aerial image showing existing foundations where the proposed new single storey building would be positioned.



Figure 7: Proposed Block Plan showing the new footprint beside the existing building (please note – larger version of plan can be found in the Committee Plan Pack).



Figure 8: Proposed Floor Plan (please note – larger version of plan can be found in the Committee Plan Pack).

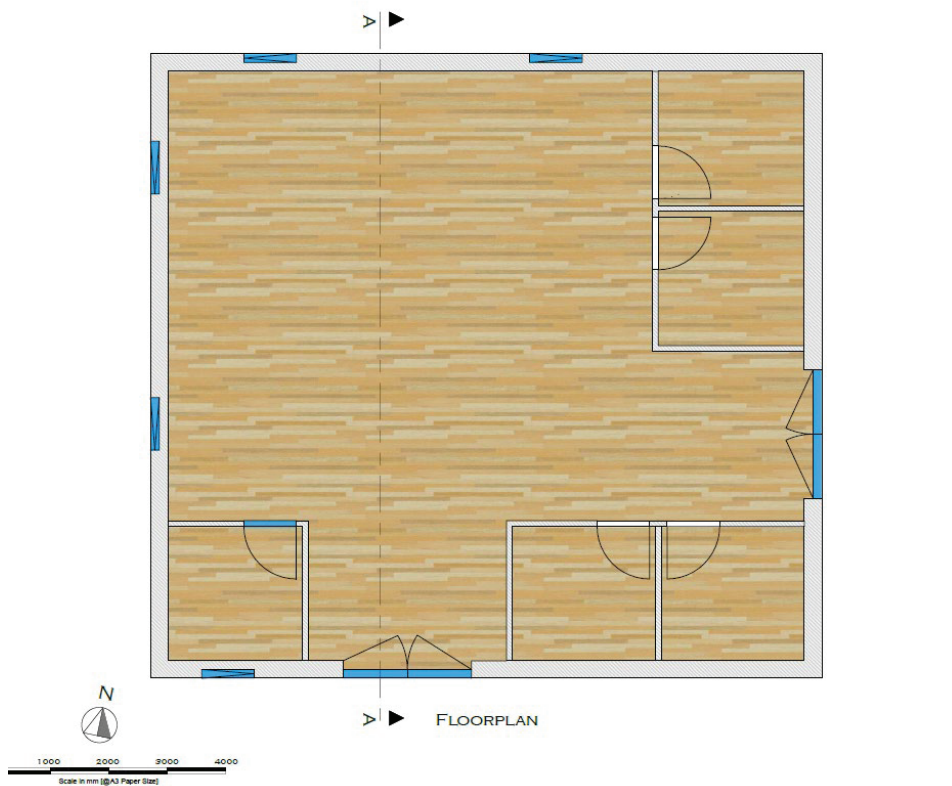


Figure 9: Proposed Front and Rear Elevations (please note – larger version of plan can be found in the Committee Plan Pack).



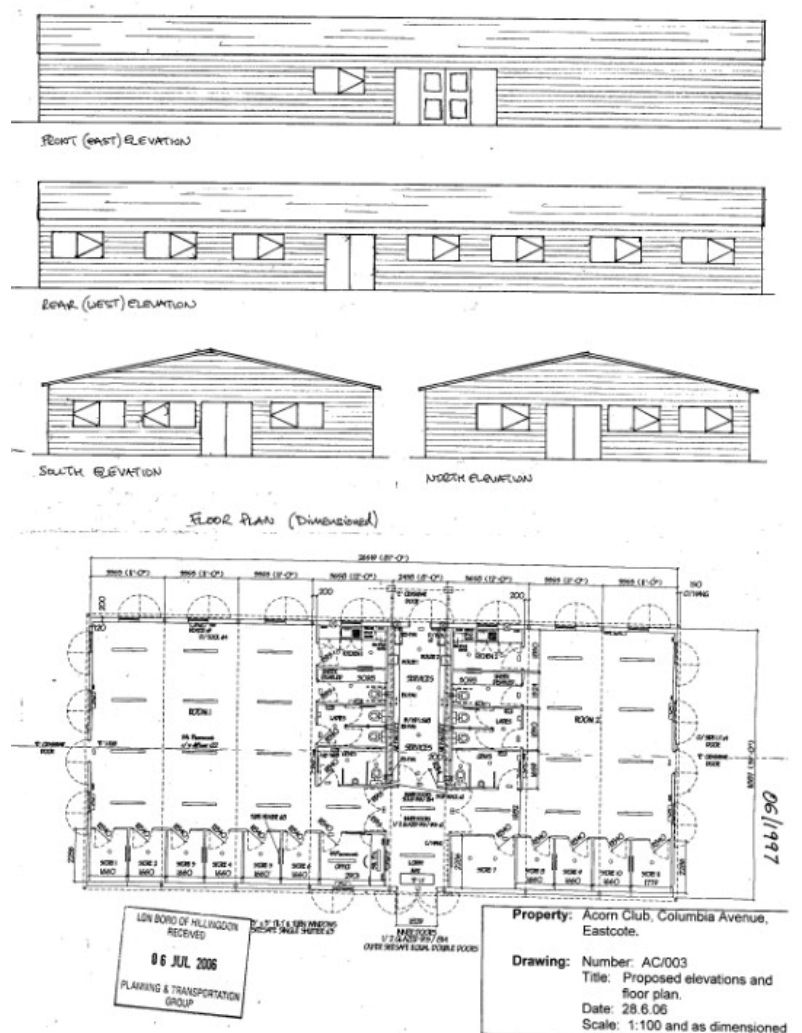
Figure 10: Proposed Side Elevations (please note – larger version of plan can be found in the Committee Plan Pack).



4 Relevant Planning History

- 4.1 A list of the relevant planning history related to the property can be found in Appendix 2.
- 4.2 58215/APP/2006/1997: Full Planning Permission was granted in 2006 for the erection of a single storey building with treated timber to replace the existing pavilion and shed. The approved scheme included a building with a width of 26.5m and a depth of 11.90m which was much larger than the current application.
- 4.3 The 2006 permission was part implemented in that the original buildings were demolished and foundations created. However, due to funding constraints, the approved building was not built out in its entirety. Instead, a smaller building was erected on the site, and there are existing foundations on the site for the larger building (these have been in situ since between 2006 and 2008).

Figure 11: Approved Plans - Planning Permission ref: 58215/APP/2006/1997



5 Planning Policy

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- 5.1 A list of planning policies relevant to the consideration of the application can be found in Appendix 3.

6 Consultations and Representations

- 6.1 Two adjoining neighbouring properties on Linden Avenue and the Eastcote Residents Association were consulted by letter dated 25.04.2025. The consultation period expired on 17.05.2025. One representation from a neighbouring resident on Columbia Avenue was received in objection to the proposal. This representation is summarised below in Table 1.
- 6.2 Representations received in response to public consultation are summarised in Table 1 (below). Consultee responses received are summarised in Table 2 (below). Full copies of the responses have also separately been made available to Members.

Table 1: Summary of Representations Received

Representations	Summary of Issues Raised	Planning Officer Response
1 neighbouring objection	1. Increase in demand for parking within the local area including drop offs and pick-ups.	This is discussed further at paragraphs 7.30– 7.34 of this report.
	2. Increase in anti-social behaviour including littering.	This is discussed further at paragraphs 7.46 – 7.47 of this report. The proposal would use the existing refuse collection arrangements. Nevertheless, a condition has been included for details for approval.
	3. Increased pressure on local services including policing and waste management.	The additional building would not lead to a significant intensification of the use. It aims to provide better facilities for the existing club members. It would not lead to any significant pressures on local services given its modest size.
	4. Development would have a long-term impact on local	This is discussed further at paragraphs 7.21 – 7.29 of this report.

	residents and quality of life.	
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Table 2: Summary of Consultee Responses

Consultee and Summary of Comments	Planning Officer Response
<p>Highways Officer</p> <p>The applicant acknowledges that the proposal will serve the existing 'youth centre' charity use and potentially cater for new members. They also confirm that the existing and expanded facility would continue to mainly serve the local community/catchment thereby reducing the potential for additional/measurable vehicular traffic as a result.</p> <p>This aspect together with the mix of waiting restrictions on the neighbouring roadways which control parking to some degree, gives rise to the Highway Authority not raising an objection to the proposed extended use of what is an established and localised charitable facility originally permitted in 2006.</p>	<p>The Highways Officer's comments are noted, and transport matters are discussed within paragraphs 7.30-7.34 of this report.</p>
<p>Landscape/Trees Officer</p> <p>No objections.</p>	<p>Noted.</p>
<p>Access Officer</p> <p>No objections. Recommended condition for level access to be provided to building entrances and escape routes.</p>	<p>Noted. Condition has been included in the recommendation.</p>

7 Planning Assessment

Principle of Development

- 7.1 Policy DMCI 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure that developments retain existing community facilities and make best use of existing recreational, leisure and community facilities.
- 7.2 Policy DMCI 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) states that proposals for the refurbishment and re-use of existing premises for community facilities will be supported. Proposals for the provision of new community facilities will be supported where they:
 - i) are located within the community or catchment that they are intended to serve;

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- ii) provide buildings that are inclusive, accessible, flexible and which provide design and space standards that meet the needs of intended occupants;
- iii) are sited to maximise shared use of the facility, particularly for recreational and community uses; and
- iv) make provision for community access to the facilities provided.

- 7.3 Policy GG1 of the London Plan (March 2021) seeks to build strong and inclusive communities through the provision of good quality community spaces, services, amenities and infrastructure that accommodate, encourage and strengthen communities, increasing active participation and social integration, and addressing social isolation.
- 7.4 The application site is used by the Acorn Youth Club, an established community facility for young people with learning difficulties which was founded in January 1988. The Club has been established at its current location since 1993 and currently has over 30 members. The club provides a selection of social activities for its members including indoor games, dancing, cooking, arts and crafts and developing life skills. This is a vital community use that provides both an educational and a social space within the local catchment area with a focus on those with learning difficulties whilst also providing respite for parents. The reasoning behind the current application is to provide much needed additional floorspace as the current building is not of a sufficient size.
- 7.5 The proposed building would expand the existing operation on the site and would provide a flexible space to allow the Youth Club to continue its provision for its existing members and welcome new members. In determining whether the principle of the use is acceptable, it is noted that the site is currently within the Class F2 (Local Community Uses) use class. There is an existing community building on site which provides a modest level of floor space. The current application would provide a separate building which would add an additional 123 sqm of floorspace. This building would comprise an open plan floor space with three corners that could be partitioned off for smaller rooms. In combination with the existing building, this would provide an F2 Use Class (Local Community Use) floorspace of approximately 273 sqm (existing building approx.150sqm).
- 7.6 This level of additional floorspace would allow the Club to continue to operate with improved facilities for its members and potentially ensure the long-term future of an F2 Use Class at the site. As demonstrated on the plans, there is a level of flexibility with the new building having the potential to segregate into smaller rooms to meet design and space standards for its intended occupants.
- 7.7 Whilst the total proposed floor space provision on the site would appear generous (273 sqm), it would be situated on a larger site and set-in from the nearest residential properties along Linden Avenue. The proposal would continue to have over 550 sqm of the site that would remain undeveloped. In this context, the proposed cumulative community buildings are proportionate to the site. Furthermore, the previously approved scheme in 2006 was for a larger building that would have provided 315 sqm of floorspace. On this basis, the proposal would not appear to be excessive in combination with the existing building on site.

- 7.8 Given that the existing building and the existing community use of the site would be retained, and the proposed building would provide additional facilities to the Acorn Youth Club, it is considered that the proposed scheme would comply with Policies DMCI 1 and DMCI 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), and Policy GG1 of the London Plan (March 2021).

Impact on the Character and Appearance of the Area

- 7.9 Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires that new developments achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place.
- 7.10 Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) requires all development to be designed to the highest standards and incorporate principles of good design, either complementing or improving the character and appearance of the area. Policy DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to protect and improve the public realm, including streets.
- 7.11 Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) requires that alterations and extensions of dwellings would not have an adverse cumulative impact on the character and appearance of the street scene and should appear subordinate to the main dwelling.
- 7.12 The application site is situated on the western side of Columbia Avenue Field with pedestrian access provided from the southern side where Beech Avenue and Columbia Avenue intersect. Generally, the prevailing character is residential, with a mixture of housing, including terraced, detached and semi-detached properties.
- 7.13 The site in its current form is bounded by mature trees to the north and south which provides a leafy appearance adjacent to the park. The existing community building is situated towards the centre of the plot and is single storey in height with a modest pitched roof and a timber frame finish.
- 7.14 The proposed building would be sited directly south of this existing building with a gap of approximately 2.3m maintained between both buildings. The proposed building would have a width of 10.7m, a depth of 11.5m and would have a mono pitched roof with a maximum height of 3.45m and an eaves height of 2.95m.
- 7.15 To the east of the building, the pedestrian access path would be maintained allowing patrons to access both the existing and proposed buildings.
- 7.16 The footprint and scale of the proposed building would sit comfortably within the application site and would have a smaller footprint than the existing building which would be retained. The proposed design would not appear out of keeping with the existing building. A sufficient separation distance would be provided between the

two buildings, and a substantial area of the site would remain undeveloped ensuring it would continue to appear spacious within its leafy context.

- 7.17 Sufficient distance from the western side along the sites boundary with Linden Avenue would be maintained with a set-in of approximately 7.5m, ensuring the building would maintain the openness of the site and would not appear overly cramped from the nearby street scene. The mono-pitched roof would also appear modest from this viewpoint. The sloped roof would also ensure that the building would combine sympathetically with the existing building in the backdrop.
- 7.18 The overall scale of the building would appear modest from other public viewpoints across Columbia Avenue Field, where the timber composite material would allow it to blend in with its leafy landscape. As such, it would appear subordinate in scale and proportionate to its overall site with sufficient space maintained with the existing structure. The proposed building would not impact the street character given the setback from the highway.
- 7.19 As such, it is considered that the proposed building would not cause harm to the character and appearance of the existing building or to the character and appearance of the street scene and the surrounding area.
- 7.20 The proposal therefore complies with Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 11, DMHB 12 and DMHD1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

Residential Amenity

- 7.21 Policies DMH 5, DMHD 1 and DMHB 11 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020) seek to ensure a satisfactory relationship with adjacent dwellings with no unacceptable loss of outlook, amenity, daylight and sunlight to neighbouring occupiers.
- 7.22 Surrounding the existing Youth Club, the area is predominantly residential in character. To the east and south of the application site is an area of public open space with other residential dwellings sited around the edges along Columbia Area. The distance from these adjacent residents on Columbia Avenue is significant with over 30 metres from the nearest house at Number 2 Columbia Avenue. This distance increases for other properties along Columbia Avenue given the location of the playing field which provides an amenity space for the public. The public playing field provides a natural buffer between the community facility and the wider residents along Columbia and Beech Avenues. Given the distances from these residents, Officers are satisfied that the development would not lead to adverse impacts on the residential amenity of residents along Columbia Avenue to the south and east of the site.
- 7.23 Residential dwellings along Linden Avenue are situated to the west of the application site, with Numbers 140 and 179 Linden Avenue sharing a boundary with the application site. These would be the closest residential neighbours with a distance of 7.5m between the common boundary and the flank wall of the proposed building.

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- 7.24 The proposed development is set-back from these neighbouring properties, maintaining appropriate separation thereby reducing the visual impact from the side. Its modest overall height would ensure that there would not be any concerns in terms of outlook, sense of enclosure or loss of daylight and sunlight. The proposed design also angles the bulk of the building towards the front of the site along the southern elevation, further reducing its visibility from neighbouring properties. The building features a mono pitched roof, with its highest point situated on the southern elevation with a modest 3.4m height and set-in sufficiently to ensure little impact on the Linden Avenue residents.
- 7.25 While the two buildings would be larger in footprint than the existing arrangement, there is sufficient distance from these neighbours to mitigate concerns of any overbearing impact, overshadowing, or overlooking from the built development. The positioning of both adjoining neighbours' gardens would ensure that the development would not impact their private amenity spaces.
- 7.26 It is noted that there is no through-access way to the site from Linden Avenue which therefore would ensure that there would be no significant adverse impact on these residents from comings and goings by those patrons attending the enhanced community facility. It is also noted that fencing along the western boundary separates the site from Linden Avenue which provides a level of security to these adjacent neighbours. The proposed structure would provide additional floor space for the community groups members. Given its existing use, location, and scale, the proposal would not cause undue harm to residential amenity. However, to mitigate any disturbance, a condition is proposed to restrict members use beyond 11pm. This is consistent with the previous permission. Subject to this condition, the proposal aligns with Policy DMHB11 of the Hillingdon Local Plan (2020).
- 7.27 Having regard to the above and subject to conditions, it is considered that the proposal would not cause undue harm to the living conditions of neighbouring occupiers in accordance with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

Noise

- 7.28 The proposed building would be sited sufficient distances away from neighbouring properties and would not have a significant impact on noise within the application site. It is noted that the proposed building would provide additional floor space for an existing established community use. It is not envisaged that the level of activity from patrons attending the site would increase significantly over and above the current arrangement.
- 7.29 Notwithstanding this, a condition restricting when amplified sound/other music can be played within the premises shall be included in any planning permission granted. This would prevent amplified sound/music after 9pm Monday to Friday and after 11pm on Saturdays with none on Sunday or Bank Holidays. This is in line with the previous condition attached to the 2006 permission. A further condition attached restricts persons (other than staff) on the premises between 11pm and 8am. This would ensure the use is not operating late into the night when adjacent residents would be resting.

Transport

Highways, Parking and Pedestrian Safety

- 7.30 Policies T4, T6, T6.2 of the London Plan (2021), DMT 1 and DMT 2 of the Hillingdon Local Plan: Part 2 (2020) are relevant to the proposed development. These policies can be read in full in the Committee Report Part 3 - Policy Appendix. In summary, these seek to deliver development which is sustainable in transport terms and safeguards highway and pedestrian safety.
- 7.31 Policy DMT 6 states 'Development proposals must comply with the parking standards outlined in Appendix C Table 1 in order to facilitate sustainable development and address issues relating to congestion and amenity. The Council may agree to vary these requirements when the variance would not lead to a deleterious impact on street parking provision, congestion or local amenity.' Similarly, the London Plan (2021) seeks to provide adequate parking for new residential development and to avoid harm to highways networks.
- 7.32 During the course of the application, comments were received from the Council's Highways Officer. The Highways Officer has raised no objection to the proposal, stating that the proposed building and the resulting Youth Club would continue to serve the local community and catchment area thereby reducing the potential for additional and measurable vehicular traffic as a result. This aspect together with waiting restrictions that are in place on the neighbouring roadways which control parking, mitigate any concerns that there would be any negative impact on the highways network.
- 7.33 On the basis of the above, it is considered that the proposal would be in accordance with the requirements of Policies DMT 2 and DMT 6 of the Hillingdon Local Plan: Part Two – Development Management Policies (January 2020).

Accessibility

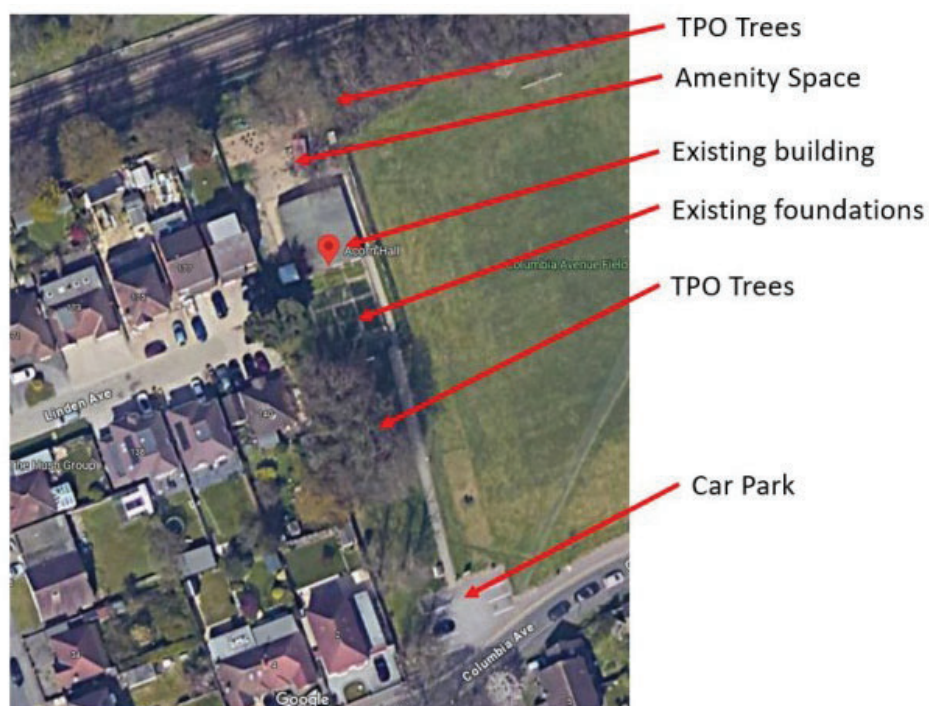
- 7.34 The application site is accessed by a footpath from the car park located on the south-western side of Columbia Avenue Fields. The building would be provided with two external double-doors which would be accessed from footpaths located around the existing and proposed buildings.
- 7.35 A condition has been included requiring the provision of level access to the building entrances and escape routes. A standard informative has also been included reminding the applicant of their responsibilities under the equalities act. Accordingly, the proposal would be in line with Policy D5 of the London Plan.

Trees and Landscaping

- 7.36 Policy DMHB 14 of the Local Plan: Part Two – Development Management Policies (January 2020) notes all developments will be expected to retain or enhance the existing landscape, trees, biodiversity and natural features of merit. Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees.

- 7.37 The application site is occupied by a single-storey purpose-built youth club in the north-west corner of the open space at Columbia Avenue. There are belts of mature trees along the northern boundary and parts of the west boundary which are a distinctive feature in the area. These trees are protected by Tree Preservation Order No. 327. The groups of trees immediately to the north and south of the building are G5 and G6 on the TPO schedule.
- 7.38 The proposed building would be in front of the existing building and would use the existing foundations on the site. These have been in situ since between 2006 and 2008, following part implementation of Planning Permission Ref: 58215/APP/2006/1997).

Figure 12 - Aerial Image of the site showing existing TPO Trees & Existing Foundations (from the submitted Planning Statement)



- 7.39 The Council's Trees Officer has reviewed the application and has not raised any objections to the proposed building. Sufficient distance is retained between the perimeter of the proposed building and the root protection area to ensure that the development would not cause any concerns to the long-term future of the nearby protected trees. Furthermore, as the development would not involve ground excavations (as the development would utilise existing foundations on site), it would not lead to any root severance concerns.
- 7.40 Subject to a compliance condition requiring tree protection measures (including protective fencing), and the use of existing foundations on the site, it is considered that the proposed development would not cause harm to existing trees within the application site and TPO 327. The proposal would thereby comply with Policy DMHB 14 of the Local Plan: Part Two – Development Management Policies (January 2020).

Biodiversity Net Gain

- 7.41 In England, Biodiversity Net Gain (BNG) is mandatory under Schedule 7A of the Town and Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021). It became mandatory for small sites on 2 April 2024. Developers must deliver a BNG of at least 10%. This means a development will result in more or better-quality natural habitat than there was before development. The landowner is legally responsible for creating or enhancing the habitat and managing that habitat for at least 30 years to achieve the target condition.
- 7.42 The proposed building would be sited on the footprint of historic foundations from a previous planning permission that was lawfully commenced but not completed. As the development area is confined to the existing disturbed ground (with foundations implemented) and does not result in the loss of more than 25 m² of existing habitat, the scheme falls within the statutory exemptions to mandatory Biodiversity Net Gain as set out in the Environment Act 2021 and the Biodiversity Net Gain Regulations 2023. The proposal is therefore exempt from the requirement to deliver measurable BNG and is considered acceptable in ecological terms.

Flooding and Drainage

- 7.43 Policy DMEI 9 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure that developments provide appropriate management of flood risk.
- 7.44 The application site is located within a Critical Drainage Area, as identified in the Surface Water Management Plan (SWMP) for Hillingdon. Therefore, an informative advising the applicant that water run off should be directed to a soakaway, tank or permeable surface shall be added to any consent granted.

Security/Anti-Social Behaviour

- 7.45 A representation received raised concerns regarding anti-social behaviour, potential crime and community safety. Both previous legal and appeal decisions have confirmed that the fear of crime and anti-social behaviour should only be considered a material planning consideration in cases where evidence exists that the associated development would likely increase crime. There is no present evidence to suggest that there are any anti-social behaviours from the existing building. It must also be noted that the application site is located within a fenced area next to Columbia Avenue Field, an open green space.
- 7.46 The access to the site is quite open with significant levels of surveillance from surrounding dwellings and public open space. The level of passive surveillance would mitigate any potential security or anti-social concerns. Gated access is provided by a footpath leading from the car park located on the northern side of Columbia Avenue. As such, the proposed development is not considered to compromise the security of the application site, adjoining sites or the wider community.

Fire Safety

- 7.47 Policy D12 of the London Plan states that all developments must achieve the highest standards of fire safety. The application site is situated within an area of open space, and the multi-purpose room would be served by two external doors on two different elevations. The building is modest in overall size and scale. As it is a modestly sized single storey building with two external access points, the LPA are satisfied, it would not lead to any fire safety and access/escape route concerns.

8 Other Matters

Human Rights

The development has been assessed against the provisions of the Human Rights Act, and in particular Article 1 of the First Protocol and Article 8 of the Act itself. This Act gives further effect to the rights included in the European Convention on Human Rights. In arriving at this recommendation, due regard has been given to the applicant's reasonable development rights and expectations which have been balanced and weighed against the wider community interests, as expressed through third party interests / the Development Plan and Central Government Guidance.

Equality

Due consideration has been given to Section 149 of the Equality Act with regard to the Public Sector Equality Duty in the assessment of this planning application. The proposal would provide an enhanced community facility for individuals with a protected characteristic and their families. No adverse equality impacts are considered to arise from the proposal.

Local Finance Considerations and CIL

The proposed development is not CIL liable as the applicant is a registered charity. Nevertheless, the CIL exemption forms would need to be submitted for formal consideration.

9 Conclusion / Planning Balance

The proposal is considered to comply with the Development Plan, and no material considerations indicate that a contrary decision should be taken. Consequently, the application is recommended for approval subject to the conditions set out in Appendix 1.

10 Background Papers

Relevant published policies and documents taken into account in respect of this application are set out in the report. Documents associated with the application (except exempt or confidential information) are available on the [Council's website](#)

[here](#), by entering the planning application number at the top of this report and using the search facility. Planning applications are also available to inspect electronically at the Civic Centre, High Street, Uxbridge, UB8 1UW upon appointment, by contacting Planning Services at planning@hillingdon.gov.uk.

APPENDICES

Planning Application

58215/APP/2025/1068

Appendix 1: Recommended Conditions and Informatives

Conditions

1. T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2. COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbered:

Location Plan

Proposed Site Plan

DM314 Sheet 1 of 5 Proposed Floor Plan

DM314 Sheet 2 of 5 Proposed Roof Plan

DM314 Sheet 3 of 5 Proposed Front & Rear Elevations

DM314 Sheet 4 of 5 Proposed Side Elevations

DM314 Sheet 5 of 5 Proposed Section AA

and shall thereafter be retained/maintained for the lifetime of the development.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part One - Strategic Policies (2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (2020), and the London Plan (2021).

3. OM19 Construction Management Plan (details)

Prior to development commencing, the applicant shall submit a construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The hours during which development works will occur (please refer to the informatives for maximum permitted working hours).
- (ii) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (iii) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (iv) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.

(v) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with the provisions of the Hillingdon Local Plan: Part One - Strategic Policies (2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (2020), and the London Plan (2021).

4. HO4 Materials (details)

Notwithstanding the submitted details, no development shall take place until details of all materials and external surfaces, have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such. Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

5. NONSC Refuse Storage & Collection (details)

Prior to first occupation of the development, details of refuse collection arrangements and on-site refuse storage for waste material awaiting disposal, including details of any screening, shall be indicated on plans to be submitted to and approved by the Local Planning Authority. Such facilities shall be provided prior to occupation of the development and thereafter permanently retained.

REASON

To ensure that adequate provision is made for the disposal of waste and visual amenities are not prejudiced, in accordance with the provisions of the Hillingdon Local Plan: Part One - Strategic Policies (2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (2020), and the London Plan (2021).

6. NONSC Step Free Access

The development hereby approved shall ensure level access at all building entrances and designated escape routes to ensure accessibility for individuals with disabilities. The facilities shall be in place prior to first occupation and remain in situ throughout the lifespan of the development.

REASON:

To ensure an accessible and inclusive development for everyone in accordance with London Plan policy D5.

7. HLC2 Hours of Operation

The hours of operation shall only be between 8am and 11pm. No persons other than staff shall be permitted to be on the premises outside of these hours.

REASON

To ensure that the amenity of the occupiers of nearby properties is not adversely affected and to allow a limited number of social functions to be held, in accordance with Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

8. HLC7 Restriction on Amplified Sound and Music

No amplified sound or other music shall be played in the premises between 9pm and 9am hours Mondays to Fridays, between 11pm and 9am on Saturdays and at no time on Sundays and Bank Holidays.

REASON

To safeguard the residential amenity of the occupiers of adjoining and nearby properties in accordance with Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

9. COM8 Tree Protection

Prior to construction and any site clearance, protective fencing shall be erected to protect the entire root areas/crown spread of trees, hedges and other vegetation on site. Fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The building hereby approved shall only be constructed using the existing foundations on the site.

The area within the protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- a. There shall be no changes in ground levels.
- b. No materials or plant shall be stored.
- c. No buildings or temporary buildings shall be erected or stationed.
- d. No materials or waste shall be burnt.
- e. No drain runs or other trenches shall be dug or otherwise created.

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

10. COM10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'.

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) and to comply with Section 197 of the Town and Country Planning Act 1990.

Informatives

1. I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2. I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the

hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3.

The site lies partially in a Critical Drainage Area (CDA) as identified in the Surface Water Management Plan (SWMP) for Hillingdon. A CDA is the catchment area from which surface water drains and contributes to drainage problems. All developments in this area must contribute to managing the risk of flooding from surface water by reducing surface water runoff from the site. Therefore the applicant should minimise the water from your site entering the sewers.

No drainage to support the extension should be connected to any existing surface water sewer, other than as an overflow. Water run off from any roof or hard paving associated with the development should be directed to a soakaway, or tank or made permeable. This includes any work to front gardens not part of the planning application, which must be permeable or be collected and directed to a permeable area, otherwise it would need an additional permission. A water butt should be incorporated.

4. I40 Entertainment Uses

The use of premises for public entertainment (eg. music, dancing, plays, indoor sports) or films requires a licence. You should make an application to the Entertainment Licensing Officer, Entertainments Licensing Section, 4W/01, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277418).

5.

The Equality Act seeks to protect people accessing goods, facilities and services from discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be

incorporated with relative ease. The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan: Part One - Strategic Policies (January 2012) and Hillingdon Local Plan: Part Two - Development Management Policies (January 2020). set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (March 2016) and national guidance.

DMCI 1	Retention of Existing Community Sport and Education Facilities
DMCI 2	New Community Infrastructure
DMEI 9	Management of Flood Risk
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP GG1	(2021) Building strong and inclusive communities

Appendix 2: Relevant Planning History

58215/APP/2006/1997 Acorn Youth Club Columbia Avenue Ruislip

ERECTION OF A SINGLE-STOREY PRE-FABRICATED BUILDING WITH TREATED TIMBER EXTERIOR TO REPLACE EXISTING ACORN HALL, ACORN PAVILION AND STORAGE SHED. THE WORKS INVOLVE THE REMOVAL OF THE EXISTING BUILDINGS AND THE RE-INCORPORATION OF THE CLEARED SITE AS PART OF THE OPEN SPACE.

Decision: 17-11-2006 Approved

58215/APP/2007/718 Acorns Youth Centre Columbia Avenue Ruislip Middlesex

DETAILS IN COMPLIANCE WITH CONDITIONS 4, 6,7,8,13,15,16,17,18 AND 20 (COMPLIANCE WITH APPROVED DRAWINGS, MATERIALS, BOUNDARY TREATMENT, REFUSE STORAGE, STORAGE CONTAINER LOCATION, DISABILITY REQUIREMENTS, ACCESS TO BUILDING, CCTV LOCATIONS, EXTERNAL LIGHTING, AND CYCLE STORAGE) OF PLANNING PERMISSION REF. 58215/APP/2006/1997 DATED 17/11/2006: ERECTION OF A SINGLE STOREY PRE-FABRICATED BUILDING WITH TREATED TIMBER EXTERIOR TO REPLACE EXISTING ACORN HALL, ACORN PAVILION AND STORAGE SHED, THE WORKS INVOLVE THE REMOVAL OF THE EXISTING BUILDINGS AND THE RE-INCORPORATION OF THE CLEARED SITE AS PART OF THE OPEN SPACE.

Decision: 08-05-2007 Approved

58215/APP/2012/1027 Acorn Youth Club Columbia Avenue Ruislip

Installation of railings, gate and cctv.

Decision: 18-07-2012 Approved

Appendix 3: List of Relevant Planning Policies

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.EM6	(2012) Flood Risk Management

Part 2 Policies:

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHD 1	Alterations and Extensions to Residential Dwellings
DMCI 1	Retention of Existing Community Sport and Education Facilities
DMCI 2	New Community Infrastructure
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
DMEI 9	Management of Flood Risk
LPP GG1	(2021) Building strong and inclusive communities